



## **ORDINARY MEETING OF COUNCIL**

### **ATTACHMENTS TO REPORTS**

**15 February 2021**





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We, the undersigned request that the Council consider an inclusion of the sealing of Robin Hill Road in the next Council Budget. We understand that this road does not fit Council's criteria for a sealing program, but we believe that many tourists miss three worthy tourism experiences because of the condition of the road, and these businesses also miss out on possible additional revenue ( Lobster Haven, Robin Hill Nursery and the Cherry farm)

Signed: Ray & Margaret Hyland 6 Turrung Street, Cooee, Tasmania 7320

[illegible]

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### Petition to Seal Robin Hill Road

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Signed: Ray & Margaret Hyland 6 Turrung Street, Cooe, Tasmania 7320

Name	Address	Signature
SHAN CHATWIN	SMITHTON	Shan Chatwin
KATHY DALY	DRUMMOYNE	Kathy Daly
Jordan Daly	DRUMMOYNE	Jordan Daly
Matthew Wright	Lane Cove	Matthew Wright
Sue Ingallum	31 Theobalds Cres Wynyard	Sue Ingallum
Denis Kosta	JOBAL PLACE PERTH	Denis Kosta
J. PORTER	3 PANDANUS PL WYN	J. Porter
Chris McInnes	16 Dowling Dr	Chris McInnes
Julie Walsh	438 Deep Creek Rd	Julie Walsh
Heike Jones	13 EVELYN ST PENKWIN	Heike Jones
Dirac Hyde	1 Jorgensen St. Burnie	Dirac Hyde
Sandra Forrest	66 paces Rd Calder	Sandra Forrest
JULIA ADLE	16 Netherly Crescent Hobart	Julia Adle
STEPHANIE POVE	SANDY RD 7007	Stephanie Pove
BRENDON GANNON	18 ESPRANADE SEVENTHILL	Brendon Gannon
ANTHONY LUCK	WYNARD	Anthony Luck
SUZANA BUKOVICH	"	Suzana Bukovich
JAYE MARTHUR	WYNARD	Jaye Marthur
ROBIN STONE	STOWPORT	Robin Stone
GIL & SUE	WYNARD	Gil & Sue
GEOFF ROBERTSON	WYNARD	Geoff Robertson
Bob Anderson	WYNARD	Bob Anderson
DONIS HUGHES	13 HUNTER RD	Donis Hughes
BILL NEWMAN	15 STANLEY CRT	Bill Newman
George Prokopiou	160 Houghton rd Collier	George Prokopiou
Tim Prokopiou	160 Houghton rd, Vic	Tim Prokopiou
Theo Prokopiou	"	Theo Prokopiou
Glen Thomas	16 Heathfield St Norwood	Glen Thomas
Lynnda Coffey	26 St Clair Rd	Lynnda Coffey
Darren Young	26 St Clair Rd	Darren Young
Leanne Thomas	16 Heathfield St	Leanne Thomas
JULIE PARKER	16 NEWSTEADWAY VIC	Julie Parker
ANDREW SPIC	"	Andrew Spic
JAY HULME	17086 Bass Highway B/H	Jay Hulme
Anastasia O'Laughlin	Wynyard	Anastasia O'Laughlin
ELIZABETH REECE	Wynyard	Elizabeth Reece
Anna Cole	Wynyard	Anna Cole
Hilary Hazelden	Wynyard	Hilary Hazelden
Lyn Sinclair	Hobart	Lyn Sinclair
RON HANIN	HOBART	Ron Hanin

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### Petition to Seal Robin Hill Road

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Signed: Ray & Margaret Hyland 6 Turrung Street, Cooe, Tasmania 7320

Name	Address	Signature
Angela Cunnell	269 Zig Zag Rd	
Hagley Farm	Park St	
Yazmin Butcher	Park St	
JOHN JOHN BILLES	Burnie	
Lisa Lucas	295 METAIRA RD	
ROGER WOOD	17 MOORE ST BOATHARBOUR	
ROSS CRACK	3 CROOKERS ST	
Carol Williams	2 Crestview Crt	
IRENE WILSON	52 Bealieu	
Skye Goff	57 Main Rd	
Sam. young	82 Gaitstan Creek Rd	
Nicole Ford	37 Continental Rd	
R. Bulvers	8 Woodswallow Ct	
K. BROWNIE	45 STABLE RD	
L. Cammure	40 PRASMAN DA C/TOWN	
V. Turner	301 Pages Rd	
D. TURNER	"	
S. Chapman	41 Brown Rd	
M. HYDEN	41 Brown Rd	
R. King	61 Lake St Waverley	
R. Lockel	Gawler	
J. McRae	40 DORRUM CRT, KEYBRIDGE	
B. J. KOETSIER	29 Dial Rd. Penguin	
S. J. BRYAN	46 CHANDLER ST L'ISON	
S. TURNER	99 IRBY BLVD SISTERS BERN	
T. Lockett	2150 castro rd upperc	
G. McCarthy	8 Plegacy PPK Ardura	
M. McCarthy	"	
R. Kurpiewski	12 Burke St Laureston	
R. White	161 Hawleys Rd Milba	
S. Batchelor	Hobart	
R. CHARLES	2 LORRIE PLACE	
A. Kieker	171 MISTHILL RD Hobart	
Debbie Cremer	125 View Rd Park Grove	
Jill Charles	2 Lorrie Place Burnie	
Roxley Snae	45 RUSSELL ST WYMPIE	
Glenn & Ann Johns.	2 CORRIE RD WYMPIE	
Robin Timm	Somerset	

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Signed: Ray & Margaret Hyland 6 Turrung Street, Cooee, Tasmania 7320

Name	Address	Signature
Ves mather	27 Grayling Ave S Hob	0431167854 16m
JOHN JOHNSON	2 Campbell St Campbell	040572910 John
Louise Boney	46 Girrabong Court, Lenah Valley	0400584135 L Boney
Kim Lawrence	47 Bells parade Somerset	0418134784 Kim Lawrence
Ann Currell	14 Lyons St Somerset	0417004383 Ann
JOHN HYLAND	11 Hopkins Cr	0418311246 John
MARLENE CLARK	11 Hopkins Cr	0418311246 Marlene
Pauline Deppa	819 Morningside St BHB	0428259530 Pauline
S. Broomhall	Wynyard	0477711564 S. Broomhall
JAMIE KING	14 MANUKA DE BUREN	0400 558 935 Jamie
HEARY BESWICK	12 CUFFS ST BURNIE	0418122104 Heary
SALLY DANNOCK	24 REYNOLDS CRT DUNNED	S. Dannock
Simon Wright	" "	Simon Wright
Kuer Hanson	95 Benny St Letcher	Kuer
Owen Clough	3 McCall Tee, Bev.	Owen
Marlene Bolt	Last St, Latrobe 7304	Marlene
Mel Applebee	Stouport	M.2.A.
LINA POKE	SMITHTON	Lina
Sarah Brimfield	Devonport	Sarah Brimfield
Bessie St. John	5 FAIRMOUTH ST	Bessie
Terrie Kenton	239 GOSPOD WYNYARD	Terrie Kenton
David Kenton	" "	David Kenton
Lisa Parker	16 Heron Court Granville	Lisa Parker
Helen Hitchen	117 Dillon St Bellevue	H. Hitchen
Brian Hall	8 Hawthorn Court	B. Hall
Rosa Oster	119 Irby Boulevard Sister Beach	Rosa Oster
Tim Burrows	" "	Tim Burrows
Darren Di Serens	40 Pinecrest Sunnyside	Darren
Colin White	4 Brien St TRENNAN	Colin White
JOHN WHITE	100 CROSBY ST Somerset	John White
JOHN WILKES	63 AUSTIN ST WYNYARD	John Wilkes
SHARON SMITH	18 Isabelle Ct. Lton	Sharon Smith
SUE DAL BASSO	33 COLLINS ST EVANDALE	Sue Dal Basso
Denise Foulks	19 Ryworth St, Burnie	Denise Foulks
Joanne Johnston	20 Charles St Crayfish Creek	Joanne Johnston
Angie Dru	31 Arundel St Cleve	Angie Dru
Maxim Adams	33 Arundel St Cleve	Maxim Adams
Perry Hobbs	Smithton	Perry Hobbs
Tracey Horton	Smithton	Tracey Horton
Garmen Graham	Smithton	Garmen Graham

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Signed: Ray & Margaret Hyland 6 Turrung Street, Cooe, Tasmania 7320

Name	Address	Signature
S. Chatham	177 Sheffield Rd Spreyton	S. Chatham
Lynne Thompson	80 Edinburgh Rd Abbotsbury	Lynne Thompson
Jae. Bligh	51A Jackson Rd Wynyard	Jae. Bligh
DUDLEY CORRETT	12 PINELEIGH	DUDLEY CORRETT
Dianne Dennis	165 Albert St. Howth	Dianne Dennis
Ian Dennis	165 Albert St. Howth	Ian Dennis
Sallie Clayton	8 Major St. Weymouth	Sallie Clayton
Barry & Libby Triffitt	10 Ralph St Weymouth	Barry & Libby Triffitt
Michael & Cheryl Wells	134 Brickport Rd Burnie	Michael & Cheryl Wells
Danielle & Phil Arkins	34 Croft Av. D'Point	Danielle & Phil Arkins
Sue Mully	140 Percival St Lathbury	Sue Mully
Deb Bassett	140 Percival St Lathbury	Deb Bassett
Shelia & Elwin Rumbly	16 Corraing Drichewell	Shelia & Elwin Rumbly
Wien Jan man	15 Murchison St Lathbury	Wien Jan man
Bergina Cooper	13 Colthard St. D'Point	Bergina Cooper
Elizabeth Kaye	697 Calder Rd. WYNARD	Elizabeth Kaye
ROBIN STONE	369 UPPER STOWPORT RD STOWPORT	ROBIN STONE
Leigh Hall	4 Fisher Drive Hendersons case	Leigh Hall
DAVID RUSSELL	SASSANARS	DAVID RUSSELL
Michaela Redpath	Acacia Hills	Michaela Redpath
Sonia Shearer.	14 Birch St. Devonport.	Sonia Shearer.
Larnica Marshall	Spreyton	Larnica Marshall
Rosalie Winduss	Oliverstone	Rosalie Winduss
Penny Gray	Conventon.	Penny Gray
Charles (Dennis)	13 Table Cape Rd Wynyard	Charles (Dennis)
Helen Bramich	25 George St Somerset	Helen Bramich
Val Richardson	Unit 8 Church St Wynyard	Val Richardson
Archie York	24 B. Mt. Hicks	Archie York
Rosalyn NEWTON	33 RALPH ST. PRESTON	Rosalyn NEWTON
Julie Kingston	11 RALPH ST. PRESTON	Julie Kingston
Pat & Peter Little	P.O. Box 147 Port Sorell	Pat & Peter Little
Jack Dimes	87 Punch Bowl Rd.	Jack Dimes
FAVOR STINGLE	15A HENSLAWS RD	FAVOR STINGLE
Robert Wallis	17 BAIL ST. HANSEN	Robert Wallis
K. J. M. M.	25 Old Ross Hwy Wynyard	K. J. M. M.
M. Mcgregor	167 Austin St Wynyard	M. Mcgregor
Mr. Beatty	275 Deep Creek Rd	Mr. Beatty
Mr. R. Hyland	108 Calder Rd	Mr. R. Hyland
N.E. Hyland	" " "	N.E. Hyland

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Signed: Ray & Margaret Hyland, ... address ... 6 Turrung St., Goose, Tas 7320.

Name	Address	Signature
DAVID WALSH	27 BELLS PARADE	D Walsh
JEANNETTE TEINAKI	1211 MURCHISON HIGHWAY	J Teinaki
LYN ARDOL	18 Elizabeth St Somerset	Lyn Ardol
SONYA WALSH	27 BELLS PARADE SSET	Sonya Walsh
EILEEN YOUNG	16 BODRYPALUA DRIVE WYN	Eileen Young
Dale Hite	2/8 West Jenner St WYN	Dale Hite
DEBBIE BROWN	37, Pebbly Rd Hellyer	Debbie Brown
ROSITA SHEPHERD	5 FAZMOUTH ST SSET	R. Shepherd
Tim Poke	14 Hill St Smithton	Tim Poke
Trudy Poke	14 Hill St Smithton	Trudy Poke
Helen Thompson	10 Parakeet Burnie	Helen Thompson
Jonathan Clayman	10 Parakeet St, Parklands	Jonathan Clayman
Jennifer Taylor	1117 Kindred Rd, Kindred	Jennifer Taylor
Justin Hyland	Ward Street Wynyard	Justin Hyland
MARG BOND	49 SIMPSON ST SSET	Marg Bond
Bair Stevens	17 Martin St WYN	Bair Stevens
TONY HAGE	12 BALLAST RD	Tony Hage
LOKATIVE COCK	25 FIDLER ST. COCKE	Lokative Cock
W. Cock	25 FIDLER ST.	W. Cock
J Dudgeon	182 POWELL ST WYN	J Dudgeon
N Henderson	3 PLASTER CRT SR	N Henderson
K. Potter	6A COURTNEY ST	K. Potter
R. Johnson	154 LITTLE VILLAGE LANE SOMERSET	R. Johnson
M. Cable	PO Box 478, WYN	M. Cable
W. STEVENS	17 MARTIN ST WYN	W. Stevens
J Marthick	PO Box 92 Smithton	J Marthick
R. Marthick	" "	R. Marthick
A. Burns	784 Cyrene Rd	A. Burns
Bianca Malone	27 York St Wynyard	Bianca Malone
GRAEME ELMER	SHEPHERD	Gr Elmer

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Signed: Ray & Margaret Hyland, ... address ... 6 TURNING ST., COOEE, 7320

Name	Address	Signature
Wendy Weeks	3/11 Morse Plac	Wendy Weeks
Kendy McDonald	1 Sheffield	Kendy McDonald
Perry Ruffels	Sheffield	Perry Ruffels
Larry Carpenter	Devonport	Larry Carpenter
Charisa Sudarneya	Derry or	Charisa Sudarneya
Marce Glover	MT Hicks	Marce Glover
LEIGH GLOVER	MT HICKS	Leigh Glover
ANTHONY DICHOE	PRELONNA	Anthony Dicho
Sarah Jen	Verona Sands	Sarah Jen
Georgia Catenby	3 Lakes Rd, Boat Harbor	Georgia Catenby
Dawn Bessie	2 Riverview Ave East Derry	Dawn Bessie
Tamara Bessie	2 Riverview Ave East Derry	Tamara Bessie
Bethwyn French	242 Upper Somport Rd	Bethwyn French
Christine Hill	9 Isabelle Ct. Wynyard	Christine Hill
Julie Walsh	56 McRae St Burnie	Julie Walsh
Pine Gunter	17/100 Channel Hwy	Pine Gunter
Tania Imlach	32 Abbott St.	Tania Imlach
Tanita Jacobs	122 DEEP CREEK RD.	Tanita Jacobs
CRAIG OTTO	122 DEEP CREEK RD.	Craig Otto
Eric Hains	5 GOLF LINK RD	Eric Hains
PETER FLIGHT	17 GOLF LINKS RD, WYNYARD	Peter Flight
Vera Flight	17 Golf Link Rd	Vera Flight
MATT PULLEN	1 BYARD ST. MT SUEZ	Matt Pullen
ROD PULLEN	16 COLLINS ST Burnie	Rod Pullen
Sue Aulich	Spencer St Burnie	Sue Aulich
Millie Maxfield	Prospect Tas	Millie Maxfield
Lorrie Holmes	Prospect Vale Tas	Lorrie Holmes
Guy Maxfield	Evadale TAS	Guy Maxfield

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Signed: Ray & Margaret Hyland 6 Turrung Street, Cooe, Tasmania 7320

Name	Address	Signature
Karen Bird	32 Penrith Street LTN	KAR Bird
JOY BENTLEY	65 WALKER ST	JOY BENTLEY
MARYLE CROPPER	2 FOSTER RD WYN	Mary Cropper
Lorella SATTERLY	20 Saunders St Wyn	L. Satterly
Miaanna Lewis	22 Hogg St Wynyard	Miaanna Lewis
Marilyn McCall	20 ROSE ST Wynyard	Marilyn McCall
Christine Buntin	44 Tallebudine Rd	Christine Buntin
Manfred Dziggel	635 Calder Rd	Manfred Dziggel
H. Angus	Somerest	Helen Angus
P. Westwood	50 MARRSBY	P. Westwood
N. Mockovich	5 Kennedy Ave, Burnet Hill	N. Mockovich
J. Garton	6 Fulton St.	J. Garton
A. Coquer	4/35 Main St	A. Coquer
P. Buntin	9 TOROCCA AVE Burnie	P. Buntin
J. Schumacher	1/5 WALK TENCE BURNIE	J. Schumacher
Edwin P. Burnie	Edwin P. Burnie	Edwin P. Burnie
Victoria H. Bow	Upper Burnie	Victoria H. Bow
Brownynne Bushby	Unit 14, 5 West Terrace Burnie	BH Bushby
Pat Robert	37 Holmes Pl. Parkes	P. Robert
T. Blackhurst	53 Halsewood Burnie	T. Blackhurst
ELIZABETH SINGLETON	5 HARRISON ST Burnie	Elizabeth Singleton
KATE CUMMING	15 CURRIE ST, DEERBURNIE	Kate Cumming
MARIAN LARMER	6 WARREN AVE	Marian Larmar
JENNIFER NELSON	25 WEST HEDGE RD	Jennifer Nelson
Roslyn Dallas	52 Briarport Rd	Roslyn Dallas
Jul Crawford	18 Tatiana Cl. Dew	Jul Crawford
WAYNE THOMPSON	47 M STUART DR.	Wayne Thompson
Kathryn Marlow	9 Sunnyside Rd N. Town	Kathryn Marlow
Brook Billing	23 Calverton Pl South Arm	Brook Billing
Melody Whish-Nelson	Pandanus Ct Wynn	Melody Whish-Nelson
Mitzi Dare	32 Inglis St Wynn	Mitzi Dare
Christina Dare	31 GIBBONS ST WYN	Christina Dare
ANTHONY REAR	11 KGL'S ST W	Anthony Rear
Emmily Sykes	Lacuna rd Ridgeview	Emmily Sykes
JANE ALEXANDER	6 MACQUARIE CND	Jane Alexander
WAYNE BARTLETT	4 MORRISON ST. 7304	Wayne Bartlett
BOB MASON	2 VALLEY VIEW SORELL	Bob Mason
Alisona Rick Cross	43 Fidler St Cooe	Alisona Rick Cross
Ian & Hazel Phillips	11 Frederick St Cooe	Ian & Hazel Phillips

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### Petition to Seal Robin Hill Road

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Signed: Ray & Margaret Hyland 6 Turrung Street, Cooe, Tasmania 7320

Name	Address	Signature
Baye French	32 River Avenue	B. French
Sam Townsend	Heybridge	
	26 Stevens Place	Sam Townsend
Helen Young	16A Mill <sup>Burnie</sup> Road	Helen Young
Nathan Lawrence	26a Lennah drive	N. Lawrence
Elizabeth Brook	34 Bathurst St Upper	Elizabeth Brook
Amanda Harding	277 Redem Road	Amanda Harding
Ty Harding	" " "	Ty Harding
Rebecca Roberts	24 Hogg St Wynyard	Rebecca Roberts
Suzanne Hunt	33 Delta Ave Wynyard	Suzanne Hunt
Dixie Hunt	33 Delta Ave	Dixie Hunt
Tracey Gruber	BA Delamere Cre. L'ion	Tracey Gruber
Ed Gruber	" " "	Ed Gruber
Helen Thompson	10 Paraka Street	Helen Thompson
	Parklands T320	
Karen Dick	22 Beaufort St	K. Dick
NOEL HYLAND	108 CALDER RD WYN.	Noel Hyland
Suzanne Gee	13 Jorling St W. VU.	Suzanne Gee
DAVID WATSON	26 Lakin St. W. VU.	David Watson
I Bugg	82 SAUNDRIIDGE RD COOE	I Bugg
P Bugg	" " "	P Bugg
J. Rowlands	79 Stony Rise Rd. Opt	J. Rowlands
Eileen Young	16 Bockyalla Dr Hellier	E. Young
John Harris	22 LEYDEN AVE 7 Mile Bck	John Harris
Hilary Hazelden	8/59 Inglis St Wynyard	Hilary Hazelden
Anna Cook	19 Deep Ck Rd	Anna Cook
ANNA DUNHAM	35 BASS H/WAY WYN	Anna Dunham
COLIN CITIKIT	28 Henslowes Rd	Colin Citikit
Elizabeth Meikle	28 Henslowes Rd WYN.	E. Meikle
Lexna Howler	6 Newton Ct Monhe	Lexna Howler
Marie Campbell	19 Katelyn Dr Wynyard	Marie Campbell
MARGARET MARSHALL	11/2 Percy St WYNARD	M. Marshall
SONYA WALSH	27 BELLS PARADE SOMERSET	Sonya Walsh
Doreen Davey	16 Mills Rd PARK GROSE	Doreen Davey
CHADNICK	6 FITZ ROY CIR WYN	Chadnick
F RUSSON	4/44 CROSS ST WYN	F. Russon
Andrew North	103 Lang Rd ST - WYN	Andrew North
Kate North	216 BROWN PARK RD	Kate North
LIONEL BIRD	32 PENNITH ST ANENSID	Lionel Bird



## DA 143/2020 50 Tippetts Road MOUNT HICKS

**Proposal: Dwelling, Caravan (Temporary Dwelling), Shipping Container & Water Tank (Staged Development)**  
**Discretionary Matter: Suitability of a site or lot for use or development 13.4.1 (P1), Dwelling density 13.4.2 (P1), Location and configuration of development 13.4.3 (P1, P2, P4), Use likely to be exposed to a natural hazard E6.5.2(P1)**

**REPRESENTATIONS CLOSE ON:  
Monday 11 January 2021**

**Please Note:**

All documents contained herewith are for public viewing only and must not be removed from the Council offices.

1985104

Documents Enclosed	Mon	Tue	Wed	Thu	Fri	Mon	Tue	Wed	Thu	Fri	Mon	Tue	Wed
Application Form													
Site Notice													
Location Map													
Titles													
Site Classification by Geoton Dated 1 October 2015													
On-site Wastewater Soil Evaluation & Design by Geoton Dated 1 February 2016													
Plans by Abel Drafting Services Dated 15.07.2020													
Elevations by Sheds N Homes Dated 03.03.2020													



**PLANNING PERMIT APPLICATION  
APPLICATION FOR PLANNING APPROVAL UNDER SECTION 51,  
LAND USE PLANNING & APPROVALS ACT 1993**

<b>PERMITTED APPLICATION</b> - Assessment and determination of a permit application under <i>S58 Land Use Planning and Approvals Act 1993</i>	\$250.00 plus \$1.15 per \$1,000 of value for use or development
<b>DISCRETIONARY APPLICATION</b> - Assessment and determination of a permit application under <i>S57 Land Use Planning and Approvals Act 1993</i>	\$350.00 plus \$1.50 per \$1,000 of value for use or development + advertising fee
<b>Level 2 "Environmental Activity - Additional charge to permit application"</b>	\$460.00 + advertising fee by quote
<b>Advertising fee will be reimbursed if no advertising is required</b>	
<b>Please refer to <a href="http://www.warwyn.tas.gov.au">www.warwyn.tas.gov.au</a> (Council Services – Planning Services – Planning Fees) for all other fees</b>	

Is a hard copy of planning permit and endorsed documents required? Yes ..... No ☒

- Value of work (inc GST) \$ 15,000:00 ..... Contract Price ..... Estimate .....
- Development Address 50 TIPPETTS ROAD MOUNT HICKS .....
- Full Name of Applicant(s) ABEL DRAFTING SERVICES Pty Ltd-IAN RAY .....

Contact Details: Address: PO BOX 737 WYNYARD .....

Email Address barbara@abeldesign.com.au .....

Telephone – Day 6442 3411 ..... Mobile 0418 143 073 .....

For requests in hardcopy format all correspondence in relation to this application, will be sent to the postal address, otherwise all correspondence will be forwarded to the email address)

- Would you like the contact address recorded above to be applied for all future Council correspondence? (including rates/animal control etc)? Yes..... No ☒

5. **WHERE THE APPLICANT IS NOT THE OWNER**  
In accordance with Section 52 of the *Land Use Planning and Approvals Act 1993* if the applicant for the permit is not the owner of the land in respect of which the permit is required, the applicant must include in the application for the permit, a declaration that the applicant has notified the owner of the intention to make the application.

In the event that the property is owned or managed by the Crown or Council, this application is to be signed by the relevant Crown Minister responsible, or General Manager of the Council, and accompanied by written permission of the Minister/General Manager to the making of this application.

Name of Property Owner (see authorisation below)

Full Name ANNETTE ELLIS ..... Telephone – Home .....

Address 50 TIPPETTS ROAD MOUNT HICKS ..... Telephone Work/Business .....

**Applicant's Notification to Owner** IAN RAY - ABEL DRAFTING SERVICES

I ..... Full Name of Applicant(s)

of 33 GOLDIE STREET WYNYARD TAS 7325

Applicant's Address

Declare that I/we have notified the owner(s) of the property(ies) of the intention to make this application.  
I/We understand that in accordance with Section 52(2) of the *Land Use Planning and Approvals Act 1993* a person must not obtain or attempt to obtain a permit by wilfully making, or causing to be made, any false representation or declaration either orally or in writing.

Applicant's Signature(s) ..... 07/09/2020



**Enclosure 1 Proposal Documentation**

6. Proposed Development (Fully describe intended use of land or premises)

PROPOSED RESIDENCE AND STORAGE

.....

.....

.....

7. Supporting Information if necessary to explain special features of the proposal.

(Attach separate sheet if required)

ATTACHED DOCUMENTATION

.....

.....

.....

To include –

a. One Copy (electronic copy if available) of any plan(s) and/or specification(s) for the proposed development, showing where applicable:

- ☐ i. Sufficient information to demonstrate compliance with all applicable standards, purpose statements in applicable zones and codes, any relevant local area objectives or desired future character statements;
- ☐ ii. a full description of the proposed use or development;
- ☐ iii. a full description of the manner in which the use or development will operate;
- ☐ iv. a site analysis and site plan at an acceptable scale;
- ☐ v. a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200;
- ☐ vi. a plan of the proposed landscaping;
- ☐ vii. car parking facilities and capacity;
- ☐ viii. area of clearing of trees and bushland;
- ☐ ix. size, position, colour, illumination, fixing or support and other design details of advertising sign(s).

b. A full copy of your title shall also accompany the application.

Title Certificate ☐ Title Plan ☐ Schedule of Easements ☐

c. Relevant engineering pre-lodgement approvals

Access ☐ Stormwater ☐

8. Present use of site and/or buildings – full description

PROPOSED RESIDENCE/STORAGE

.....

9. Car Parking	Floor Area	Site Area
Existing on site .....	Existing ..... 7.8 m <sup>2</sup>	..... 5978 m <sup>2</sup>
Total no. proposed .....	Proposed ..... 36 m <sup>2</sup>	
	Total ..... 43.8 m <sup>2</sup>	

**Enclosure 1 Proposal Documentation**

**Questions 10 to 13 relate to Commercial and Industrial Uses and Developments only**

10. What days and hours of operation are proposed?

Monday to Friday: From ..... a.m. to ..... p.m.  
 Saturday: From ..... a.m. to ..... p.m.  
 Sunday: From ..... a.m. to ..... p.m.

11. Number of Employees?

Existing .....  
 Proposed .....

12. Vehicles visiting or delivering to or from the site?

Type	No.	Trips per day
.....		
.....		

13. What type of machinery is to be installed or used?

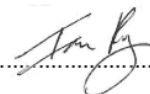
Type	No.
.....	
.....	

**DECLARATION BY APPLICANT (mandatory)**

I declare that the information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with the development application may be made available to the public. I understand that the Council may make such copies of the information and materials as in its opinion are necessary to facilitate a thorough consideration of the Permit Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application for the purposes of assessment of that application. I indemnify the Waratah-Wynyard Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.

I/We hereby acknowledge that Section 20(a) of the *Local Government Act 1993* provides the power for persons authorised by the General Manager to enter land without notice in relation to an application by the owner or occupier for a licence, permit or other approval given by the council.

Signature(s) .....  
 (all applicants to sign)



Date ..... 07/09/2020

**Enclosure 1 Proposal Documentation**



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*



SEARCH OF TORRENS TITLE

VOLUME 133988	FOLIO 1
EDITION 6	DATE OF ISSUE 26-Nov-2018

SEARCH DATE : 15-Jul-2020

SEARCH TIME : 09.40 AM

DESCRIPTION OF LAND

Parish of ELLIOTT, Land District of WELLINGTON  
Lot 1 on Sealed Plan 133988  
Derivation : Part of Lot 10847 Gtd. to William Cross  
Prior CT 41998/3

SCHEDULE 1

M726720 TRANSFER to ANNETTE ELLIS Registered 26-Nov-2018 at  
12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP 133988 EASEMENTS in Schedule of Easements  
SP 133988 COVENANTS in Schedule of Easements  
SP 133988 FENCING PROVISION in Schedule of Easements  
SP 133988 WATER SUPPLY RESTRICTION  
SP 133988 SEWERAGE AND/OR DRAINAGE RESTRICTION  
SP 133988 SEPTIC TANK NOTIFICATION

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



## SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



## SCHEDULE OF EASEMENTS

NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.

Registered Number

SP 133988

PAGE 1 OF 1 PAGE/S

## EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

## FENCING PROVISION:

In respect of Lots 1 to 4 on the Plan the Vendor Daniel Graham Riddiford shall not be required to fence.

## PIPELINE EASEMENT:

Lots 1, 2 and 4 are together with a pipeline <sup>easement</sup> ~~covenant~~ over the "Pipeline Easement 4.00 wide" shown passing through lot 3 on the plan.

Lots 1 and 4 are together with a Pipeline Easement over that area of lot 3 marked A-B-C-H-I on the plan and that area of lot 2 marked C-D-E-F-G-H on the plan.

Lot 3 is subject to a Pipeline Easement over the "Pipeline Easement 4.00 wide" on the plan as appurtenant to Lots 1, 2 and 4 and that area marked A-B-C-H-I on the plan as appurtenant to lots 1 and 4 on the plan.

Lot 2 is subject to a Pipeline Easement over that area marked C-D-E-F-G-H on the plan as appurtenant to Lots 1 and 4 on the plan.

## RIGHTS OF CARRIAGEWAY:

Lot 3 is together with a Right of Carriageway over the "Right of Ways Private" marked K-H-C-D-G-L on the plan.

Lot 3 is subject to a Right of Carriageway over the Right of Ways Private" marked K-J-I-C-H as the plan as appurtenant to Lot 2 on the plan.

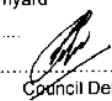
Lot 2 is together with a Right of Carriageway over the "Right of Ways Private" marked K-J-I-C-H on the plan.

Lot 2 is subject to a Right of Carriageway over the "Right of Ways Private" marked K-H-C-D-G-L on the plan as appurtenant to Lot 3 on the plan.

## POWERLINE EASEMENT:

Lot 3 is together with a Powerline Easement over the "Powerline Easement" 6.00 wide" shown passing through Lots 1 and 2 on the plan and over the "Powerline Easement 6.015" marked G-D-E-F shown passing through Lot 2 on the plan.

(USE ANNEXURE PAGES FOR CONTINUATION)

SUBDIVIDER: Daniel Graham RIDDIFORD FOLIO REF: 41998/3 SOLICITOR & REFERENCE: Greg Smith Kay Ruddle & Smith	PLAN SEALED BY: Waratah-Wynyard DATE: 16 June, 1998 SD 1569 REF NO.  Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.	





## SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 2 OF 3 PAGES	Registered Number <b>SP 133988</b>
SUBDIVIDER: Daniel Graham RIDDIFORD FOLIO REFERENCE: 41998/3	

**Lot 2 is together with** a Powerline Easement over the "Powerline easement 6.00 wide" shown passing through Lots 1 and 3 on the plan.

**Lot 1 is subject to** a Powerline Easement over the "Powerline Easement 6.00 wide" on the plan shown passing through the said Lot 1 (appurtenant to Lots 2 and 3 on the plan).

**Lot 2 is subject to** a Powerline Easement over the "Powerline Easement 6.00 wide" and over the "Powerline Easement 6.015 wide" marked G-D-E-F shown passing through the said Lot 2 (appurtenant to Lot 3 on the plan).

**Lot 3 is subject to** a Powerline Easement over the "Powerline Easement 6.00 wide" on the plan shown passing through the said Lot 3 (appurtenant to Lot 2 on the Plan).

**WAYLEAVE EASEMENT:  
TRANSMISSION LINE:**

**Lots 3 and 4 are each subject to** a Wayleave Easement as defined by Section 2 of the Hydro Electric Commission Act 1944 over such portion of the H.E.C. Wayleave Easement shown passing through Lot 4 marked T-U-V-W-S shown passing through Lot 3 and marked V-X-Y-W.

**COVENANTS:**

The owner of each lot shown on the plan covenants with the Vendor Daniel Graham Riddiford and the owners for the time being of every other lot shown on the plan to the intent that the burden of this covenant may run with and bind the covenantors lot and every part thereof and that the benefit thereof may be annexed to and devolve with each and every part of every other lot shown on the plan to observe the following stipulations:-

1. Not to erect any dwelling house, building, erection or structure of any kind on any portion of:
  - (a) Lot 1 within the area marked A-I-M-N-O;
  - (b) Lot 4 within the areas marked Q-R-S-W and O-P-A;
2. That there shall not be kept on any lot any animals other than the usual domestic pets or horses for recreational purposes only and that the said lot shall not be used for the purposes of a poultry farm or commercial market garden.
3. That no dwelling house flat or unit erected on any lot shall be used for any purpose other than as a private dwelling house.
4. That there shall not be erected on any lot or attached to any building erected on any lot any advertisement, hoarding bill or poster, except any notice or advertisement in the usual form for the sale of such lot or building thereon.
5. That there shall not be set up or carried on in and upon any lot any trade manufacture or business of any kind.
6. Not to re-erect or erect on the said lot any building whatsoever which shall have been pulled down or demolished on any other land or not to use any secondhand materials other than clean washed bricks

**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



## SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980



<b>ANNEXURE TO SCHEDULE OF EASEMENTS</b> PAGE 3 OF 3 PAGES	Registered Number <b>SP 133988</b>
SUBDIVIDER: Daniel Graham RIDDIFORD FOLIO REFERENCE: 41998/3	

whatsoever in the erection of any building on the said lot and to use first class materials only and not to erect any dwelling on the said lot with a total livable area of less than 180 square metres.

**AND** the Vendor retains the right at any time to waive alter amend or vary any of the covenants numbered 2-6 hereinbefore set forth in respect of any lot shown on the plan.

**INTERPRETATIONS:****PIPELINE EASEMENT** means:-

The right to convey water by means of pipes along over and under the Pipeline Easements shown on the plan for normal domestic purposes and watering domestic animals and birds only with the right in connection with the conveying of such water to enter lay cleanse repair and maintain such pipes as may be reasonably required for such purposes along over and under the said Pipeline Easements at all times and for all purposes in connection therewith.

**POWERLINE EASEMENT** means:

The right to erect posts and poles with wires attached thereon along the Powerline Easements shown on the plan for the purpose of transmitting electrical energy.

SIGNED by **DANIEL GRAHAM RIDDIFORD** )  
 the registered proprietors of the land comprised )  
 in Folio of the Register Volume 41998 Folio 3 in )  
 the presence of: )

LOT 3 on the Plan is subject to a Power and Pipeline easement over the Power and Pipeline easement 3.00 wide shown on the Plan and more fully defined and set forth in Scaled Plan No. 26066.

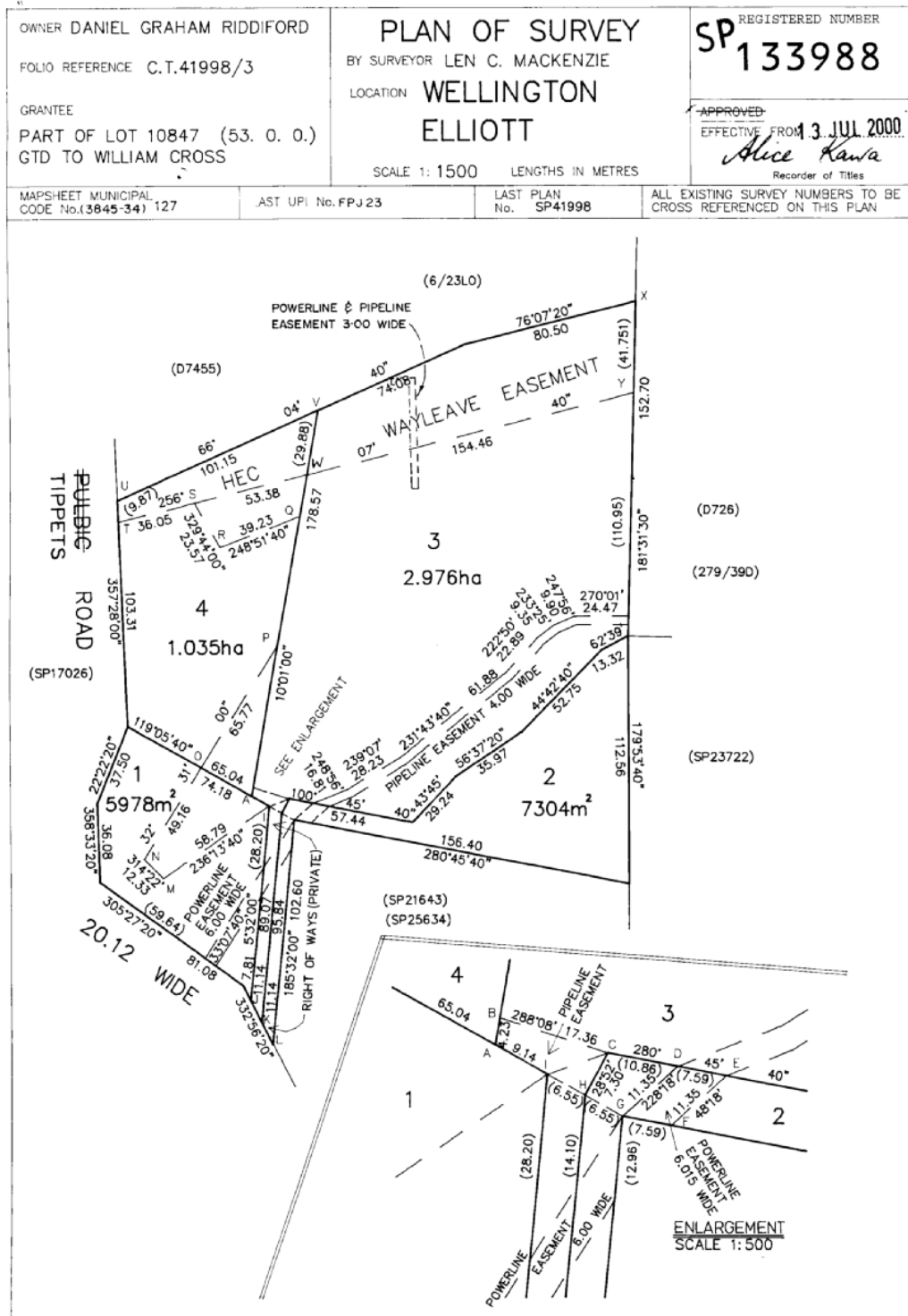
**NOTE:** Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.



# FOLIO PLAN

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980





## NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for the following development:-

**No.:** DA 143/2020

**LOCATION:** 50 Tippetts Road MOUNT HICKS

**APPLICANT:** Abel Drafting Services P/L

**ZONING:** Rural Living

**USE CLASS:** Residential

**PROPOSAL:** Dwelling, Caravan (Temporary Dwelling),  
Shipping Container & Water Tank (Staged Development)

**Discretionary Matter:** Suitability of a site or lot for use or  
development 13.4.1 (P1), Dwelling density 13.4.2 (P1), Location and  
configuration of development 13.4.3 (P1, P2, P4), Use likely to be  
exposed to a natural hazard E6.5.2(P1)

The application and associated plans and documents will be available for inspection during normal office hours for a period of 14 days from the date of this notice at the Council Office, Saunders Street, Wynyard or can be viewed on the Council website [www.warwyn.tas.gov.au](http://www.warwyn.tas.gov.au).

Any person who wishes to make representations in accordance with the *Land Use Planning and Approvals Act 1993*, must do so during the 14-day period.

Representations in writing will be received by the General Manager, PO Box 168, Wynyard, 7325, email [council@warwyn.tas.gov.au](mailto:council@warwyn.tas.gov.au) by **Monday 11 January 2021**.

Dated Saturday 19 December 2020.

**Shane Crawford**  
GENERAL MANAGER





## ABEL DRAFTING SERVICES PTY LTD

ABN 78 009 572 749



### WYNYARD OFFICE

33 Goldie Street  
PO Box 579  
Wynyard Tas 7325  
Telephone 03 6442 3411

### SMITHTON OFFICE

5 Brittons Road  
P O Box 219  
Smithton Tas 7330  
Telephone 03 6452 3411

**12/08/2020**

To whom it may concern

Annette Ellis

Authorize Abel Drafting Services to

Act as agent on my behalf, to submit building documentation, including engagement of consultants as necessary for the project.

Signed:

**ANNETTE ELLIS:**

**Rebecca Plapp**

---

**From:** Michael Banks <mbanks@geoton.com.au>  
**Sent:** Tuesday, 15 December 2020 9:45 AM  
**To:** townplanner  
**Subject:** 50 Tippetts Road, Mount Hicks  
**Attachments:** GL15252Bd Letter Binder.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Good Morning,

Please find attached a review of new plans for the above address.

Regards,

**Michael Banks**  
**GeoTon Pty Ltd**  
PO Box 522 Prospect TAS 7250  
Unit 24, 16-18 Goodman Court, Invermay TAS  
T (03) 6326 5001 M 0414 474 044  
[www.geoton.com.au](http://www.geoton.com.au)  
[mbanks@geoton.com.au](mailto:mbanks@geoton.com.au)



**Geoton Pty Ltd** ABN 81 129 764 629  
PO Box 522 Prospect TAS 7250  
Unit 24, 16-18 Goodman Court  
Invermay TAS 7248  
Tel (+61) (3) 6326 5001  
[www.geoton.com.au](http://www.geoton.com.au)

29 March 2019

Reference No. GL15252Bd

Abel Drafting Services  
33 Goldie Street  
WYNYARD TAS 7325

**Attention: Ms Barbara Davis**

Dear Sir

**RE: Geotechnical Review  
Proposed Residential Development  
50 Tippetts Road, Mont Hicks**

At your request, Geoton has reviewed the latest plans of the proposed development, provided by Abel Drafting Services, Project No. 20081, drawing No. 1 to 11, dated 28/09/20.

We confirm that the drawings are in keeping with the recommendations of our previous reports, Reference No. GL15252Ab, dated 1 October 2015 and GL15252Bc, dated 1 February 2016. In particular, the location and setbacks of the proposed dwelling and existing onsite wastewater disposal field conform with recommendations given in our prior reports.

We trust the above comments are appropriate to your needs. Should you have any queries please contact Michael Banks or the undersigned.

For and on behalf of Geoton Pty Ltd

A handwritten signature in blue ink, appearing to read "Tony Barriera".

**Tony Barriera**

Director

Attachments: Limitations of report





## **Geotechnical Consultants - Limitations of report**

These notes have been prepared to assist in the interpretation and understanding of the limitations of this report.

### **Project specific criteria**

The report has been developed on the basis of unique project specific requirements as understood by Geoton and applies only to the site investigated. Project criteria are typically identified in the Client brief and the associated proposal prepared by Geoton and may include risk factors arising from limitations on scope imposed by the Client. The report should not be used without further consultation if significant changes to the project occur. No responsibility for problems that might occur due to changed factors will be accepted without consultation.

### **Subsurface variations with time**

Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. In the event of significant delays in the commencement of a project, further advice should be sought.

### **Interpretation of factual data**

Site assessment identifies actual subsurface conditions only at those points where samples are taken and at the time they are taken. All available data is interpreted by professionals to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, as it is virtually impossible to provide a definitive subsurface profile which includes all the possible variabilities inherent in soil and rock masses.

### **Report Recommendations**

The report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete and therefore the report recommendations can only be regarded as preliminary. Where variations in conditions are encountered, further advice should be sought.

### **Specific purposes**

This report should not be applied to any project other than that originally specified at the time the report was issued.

### **Interpretation by others**

Geoton will not be responsible for interpretations of site data or the report findings by others involved in the design and construction process. Where any confusion exists, clarification should be sought from Geoton.

### **Report integrity**

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

### **Geoenvironmental issues**

This report does not cover issues of site contamination unless specifically required to do so by the client. In the absence of such a request, Geoton take no responsibility for such issues.

**GEOTON** Pty Ltd  
**Geotechnical Consultants**

**Geoton Pty Ltd** ABN 81 129 764 629  
PO Box 522 Prospect TAS 7250  
Unit 24, 16-18 Goodman Court  
Invermay TAS 7248  
Tel (+61) (3) 6326 5001  
[www.geoton.com.au](http://www.geoton.com.au)

1 October 2015

Reference No. GL15252Ab

Ms Annette Ellis  
PO Box 505  
WYNYARD TAS 7325

Dear Madam

**RE: Site Classification  
50 Tippetts Road, Mount Hicks**

We have pleasure in submitting herein our report detailing the results of the geotechnical investigation conducted at the above site.

Should you require clarification of any aspect of this report, please contact Matthew Street on 03 6326 5001 or the undersigned.

For and on behalf of

**Geoton Pty Ltd**



**Matthew Street**

Geologist

Site Classification

## **1 INTRODUCTION**

A limited scope geotechnical investigation has been conducted at the request of Ms Annette Ellis at the site of a proposed residential development at 50 Tippetts Road, Mount Hicks.

The investigation has been conducted to provide the following:

- A landslide risk assessment;
- An assessment of the general subsurface conditions at the site and consequently assigning a Site Classification in accordance with AS 2870 – 2011 “Residential Slabs and Footings”;
- An assessment of the surrounding topography and provide a Wind Classification in accordance with AS 4055 – 2012 “Wind Loads for Housing”; and
- An assessment of the suitability of the site for onsite wastewater disposal for the purposes of development approval (in accordance with AS/NZS 1547:2012 “On-site domestic-wastewater management”). It should be noted that this is a preliminary assessment for development approval only and does not include an onsite wastewater design.

A site plan showing the proposed dwelling location was provided, prepared by EnviroPlan, (Drawing No.215184-01, dated July 2015).

## **2 BACKGROUND**

### **2.1 Geology**

The Mineral Resources Tasmania (MRT) Digital Geological Atlas, 1:25,000 Series, indicates that the proposed development area (north of the creek) is located on Quaternary aged landslide deposits predominantly derived from weathered Tertiary rocks.

### **2.2 Landslide Hazards**

Examination of the LIST Landslide Planning Map V2, indicates that the proposed development area (north of the creek) is mapped within a medium landslide hazard band. The area south of the creek is not mapped within a landslide hazard band.

Examination of the MRT Tasmanian Landslide Map Series, Wynyard – Landslide Inventory Map, 1:25,000 scale, indicates that the proposed development area (north of the creek) is located within a large unclassified landslide with the activity being unknown (ID No. 297).

Examination of the MRT Tasmanian Landslide Map Series, Wynyard – Shallow Slide and Flow Susceptibility Map, indicates that the majority of the site is mapped within a low susceptibility source area for shallow landslides.

Examination of the MRT Tasmanian Landslide Map Series, Wynyard – Deep Seated Landslide Susceptibility Map, indicates that the site is not mapped within a

#### Site Classification

susceptibility source area for deep seated first time failure. However, the proposed development area (north of the creek) is within a susceptibility zone for landslide reactivation.

### **3 FIELD INVESTIGATION**

The field investigation was conducted on 2 September 2015 and involved the following:

- A site walkover and review of the ground surface features of the site and surrounding landforms;
- Drilling of 4 boreholes by hand auger to depths of 1.4m to 3.0m;
- Conducting insitu vane shear strength tests in clay layers encountered in the investigation, with sampling of these soils being conducted for subsequent laboratory testing; and
- Permeability testing of the site using a Constant Head Permeameter.

The results of the field and laboratory tests are shown on the borehole logs.

The logs of the boreholes are included in Appendix A and their locations are shown on Figure 1 attached.

### **4 SITE CONDITIONS**

#### **4.1 Site Description**

The site is intersected by a northeast trending creek (unnamed tributary of Seabrook Creek). To the south of the creek the hill slopes are smooth convex slopes with a slope angle of 10° to 17° towards the north. To the north of the creek (the proposed development area) the hill slopes contain gentle subdued undulations with slope angles of between 2° and 17° towards the southeast (towards the creek). The slopes typically become steeper towards the creek.

The proposed building area and surrounds only contained minor subdued undulations and did not show any distinct signs of recent landslide activity.

The proposed wastewater disposal area is located across slope from the proposed dwelling and is setback a minimum of 15m from the creek.

#### **4.2 Subsurface Conditions**

The investigation indicated that the soil profile is relatively uniform over the site. The boreholes encountered clayey silt topsoil or fill to depths of 0.3m and 0.4m, overlying stiff/very stiff clayey silt to either the investigated depths of 3.0m, or to auger refusal on an inferred boulders at depths of 1.4m (BH1) and 1.8m (BH4).

The investigation did not reveal any signs of seepage over the investigated depths.

Full details of soil conditions encountered are presented on the borehole logs.

An assessment of the plasticity characteristics of the materials encountered indicates that the clayey silt soils at this site possess a high shrink/swell potential.

Site Classification

## **5 SLOPE STABILITY**

The qualitative likelihood, consequence and risk terms used in this report for risk to property are given in Appendix B. The risk terms are defined by a matrix that brings together different combinations of likelihood and consequence. Risk matrices help to communicate the results of risk assessment, rank risks, set priorities and develop transparent approaches to decision making. The notes attached to the tables and terms and the comments on response to risk in Appendix B are intended to help explain the risk assessment and management process.

The slope stability assessment has been conducted on the proposed building location as shown on Figure 1. Any development outside of this area will require an additional investigation.

In light of the findings of this investigation (laboratory results, stiff soils, site geomorphology, slope angles and landslide hazard mapping), the likelihood of small to medium scale failures occurring on the site affecting the proposed development areas is considered UNLIKELY, whilst a larger scale failure occurring is considered RARE.

The potential consequences of landslides occurring on the site after development for a small to medium scale failure are assessed to be MEDIUM, and MAJOR for a large scale event.

**Therefore, subject to compliance with the recommendation within section 5.1 of this report, the corresponding qualitative risk for both these events occurring on the site are assessed as LOW.**

In our experience, regulating authorities allow developments to proceed with VERY LOW to LOW risk.

### **5.1 Discussion and Recommendations**

#### **5.1.1 General**

Based on the findings of the investigation and the above landslide risk assessment, we consider that development at the proposed building location would not adversely impact on the site and immediate surroundings nor significantly increase its current assessed landslide risk, provided the development adheres to the principles of good hillside practice, and the recommendations below. An information sheet entitled "Some Guidelines for Hillside Construction" adapted from the Journal of the Australian Geomechanics Society, volume 42, Number 1, dated March 2007, is presented in Appendix C.

#### **5.1.2 Cuts and Fills**

We recommend that:

- Cuts and fills on the site should be minimised and these should be limited to less than 1m in height and battered at slope angles no steeper than 1 vertical to 3 horizontal (1V:3H) or alternatively these should be retained;

#### Site Classification

- Any proposed unretained cuts and fills greater than 1m should be reviewed by an experienced geotechnical practitioner;
- Cut and fills retained with retaining walls greater than 1m in height should be designed by a suitably qualified engineer; and
- Surface water cut off drains should be provided uphill of any structures (retaining walls and/or the cut/fill batters) to direct surface water runoff from these slopes. The collected water should be piped to the below creek.

#### **5.1.3 Drainage**

We recommend that:

- Should any seepage or groundwater be encountered during site or footing excavations, it is recommended that subsoil drainage be provided to discharge to the creek;
- No wastewater is to be disposed off directly upslope or downslope of the proposed dwelling; and
- All wastewater must be disposed off within the areas identified on Figure 1.

#### **5.1.4 Erosion control**

We recommend that:

- Maintain vegetation on the surrounding slopes, in particular the uphill and downhill slopes of the proposed development.

#### **5.1.5 Buildings**

We recommend that:

- Buildings of flexible and lightweight construction such as pole frame houses are preferable, however articulated brick veneer construction may be tolerated provided they are founded on stiff footing systems.

## **6 SITE CLASSIFICATION**

After allowing due consideration of the site geology, drainage and soil conditions, the site has been classified as follows:

### **CLASS H1 (AS 2870)**

Foundation designs in accordance with this classification are to be subject to the overriding conditions of Section 7 below.

This Classification is applicable only for ground conditions encountered at the time of this investigation. If cut or fill earthworks are carried out, then the Site Classification will need to be re-assessed, and possibly changed.

Site Classification

## 7 FOUNDATIONS

Particular attention should be paid to the design of footings as required by AS 2870 – 2011.

In addition to normal founding requirements arising from the above classification, particular conditions at this site dictate that the founding medium for all footings should be as follows:

**CLAYEY SILT (MH) – high plasticity, brown/grey or brown  
encountered below 0.3m and 0.4m from the existing ground surface**

An allowable bearing pressure of 100 kPa is available for edge beams, strips and pads founded as above.

The site classification presented assumes that the current natural drainage and infiltration conditions at the site will not be markedly affected by the proposed site development work. Care should therefore be taken to ensure that surface water is not permitted to collect adjacent to the structure and that significant changes to seasonal soil moisture equilibria do not develop as a result of service trench construction or tree root action.

Attention is drawn to Appendix B of AS 2870 and CSIRO Building Technical File BTF18 “Foundation Maintenance and Footing Performance: A Homeowner’s Guide” as a guide to maintenance requirements for the proposed structure.

Although the borehole data provides an indication of subsurface conditions at the site, variations in soil conditions may occur in areas of the site not specifically covered by the field investigation. The base of all footing or beam excavations should therefore be inspected to ensure that the founding medium meets the requirements referenced herein with respect to type and strength of founding material.

## 8 WIND CLASSIFICATION

After allowing due consideration of the region, terrain, shielding and topography, the site has been classified as follows:

### WIND CLASSIFICATION N2 (AS 4055)

REGION	TERRAIN CATEGORY	SHIELDING	TOPOGRAPHY
A	TC2	NS	T0

Site Classification

## **9 EFFLUENT DISPOSAL**

### **9.1 Permeability of Soil and Soil Classification**

The soil has been classified as follows:

- Texture - Clayey Silt (Loam) (Table E1 from AS1547-2012);
- Structure- Weakly Structured (Table E4 from AS1547-2012); and
- Category - 4 (Table M1 from AS1547-2012).

The permeability ( $K_{sat}$ ) at the site was measured at 0.15m/day. For weakly structured Category 4 soils the indicative permeability from AS1547 Table L1 is 0.12-0.5m/day. Therefore, the permeability is within the range for weakly structured Category 4 soils.

- Adopted Permeability – 0.15m/day.

### **9.2 Disposal and Treatment Method**

As the area available for wastewater disposal is in close proximity to the creek the site is not suitable for a traditional septic tank system (primary treatment only) as the setback distances are not acceptable.

The site assessment indicates that the site requires secondary treated effluent. As such, the site is suitable for the disposal of domestic effluent by way of the following methods:

- Advanced Enviro-Septic (AES) system; or
- Aerated Wastewater Treatment System (AWTS) and sub-surface irrigation.

### **9.3 Setbacks**

The minimum separation distance between the disposal area and downslope features is based on Appendix R from AS/NZS 1547:2012 "Recommended Setback Distances for Land Application Systems". As per Table R1 from AS/NZS 1547:2012 the following setbacks are required for secondary treated effluent:

- 15m from downslope sensitive features such as watercourses;
- 1.5m from downslope property boundaries and buildings; and
- 3m from buildings and property boundaries situated cross slope or up-slope.

### **9.4 Wastewater Disposal Area**

Based on the required setbacks the expected design area (area available on site) is a minimum of 650m<sup>2</sup> (see Figure 1). This figure is likely to be larger upon further investigation involving the area to the south of the creek.

### **9.5 Advanced Enviro-Septic System**

Based on the findings of the field investigation a minimum area of about 150m<sup>2</sup> (75m<sup>2</sup> for the system and 75m<sup>2</sup> as a backup area) would be required for an AES system to



#### Site Classification

support a standard 4 bedroom dwelling in this area. The preferred disposal area for an AES system is shown on Figure 1.

Therefore, the results of the preliminary site investigation indicate that the site is suitable for the disposal of domestic effluent by way of an AES System.

### **9.6 Aerated Wastewater Treatment System**

Based on the findings of the field investigation a minimum area of about 420m<sup>2</sup> (210m<sup>2</sup> for the system and 210m<sup>2</sup> as a backup area) would be required for an AWTS and subsurface irrigation to support a standard 4 bedroom dwelling in this area.

Therefore, the results of the preliminary site investigation indicate that the site is suitable for the disposal of domestic effluent by way of an AWTS and subsurface irrigation.

## **10 CONCLUSION**

The results of the site investigation indicate that the proposed development location is suitable for residential development provided the recommendations within this report are adhered to. Therefore we consider that a tolerable level of risk can be achieved for the development of the site in accordance with section E6.6.2 (Development on land exposed to a natural hazard) of the Hazard Management Code of the Waratah Wynyard Interim Planning Scheme 2013. An Engineering Certificate addressing the Hazard Management Code is provided in Appendix D.

In addition, the site is suitable for the disposal of domestic secondary treated effluent.

#### **References:**

Australian Geomechanics Society (2007) – Practice Note Guidelines For Landslide Risk Management 2007, Australian Geomechanics Journal, Vol 42, No. 1

AS 1726 - 1993 Geotechnical site investigation

AS 2870 - 2011 Residential Slabs and Footings Construction

AS 4055 - 2012 Wind Loads for Housing

AS/NZS 1547- 2012 On-site domestic-wastewater management

#### **Attachments:**

Limitations of report

Figure 1 – Site Plan

Appendix A – Borehole Logs & Explanation Sheets

Appendix B – Qualitative Terminology for Use in Assessing Risk to Property

Appendix C – Some Guidelines for Hillside Construction

Appendix D – Certificates



## **Geotechnical Consultants - Limitations of report**

These notes have been prepared to assist in the interpretation and understanding of the limitations of this report.

### **Project specific criteria**

The report has been developed on the basis of unique project specific requirements as understood by Geoton and applies only to the site investigated. Project criteria are typically identified in the Client brief and the associated proposal prepared by Geoton and may include risk factors arising from limitations on scope imposed by the Client. The report should not be used without further consultation if significant changes to the project occur. No responsibility for problems that might occur due to changed factors will be accepted without consultation.

### **Subsurface variations with time**

Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. In the event of significant delays in the commencement of a project, further advice should be sought.

### **Interpretation of factual data**

Site assessment identifies actual subsurface conditions only at those points where samples are taken and at the time they are taken. All available data is interpreted by professionals to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, as it is virtually impossible to provide a definitive subsurface profile which includes all the possible variabilities inherent in soil and rock masses.

### **Report Recommendations**

The report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete and therefore the report recommendations can only be regarded as preliminary. Where variations in conditions are encountered, further advice should be sought.

### **Specific purposes**

This report should not be applied to any project other than that originally specified at the time the report was issued.

### **Interpretation by others**

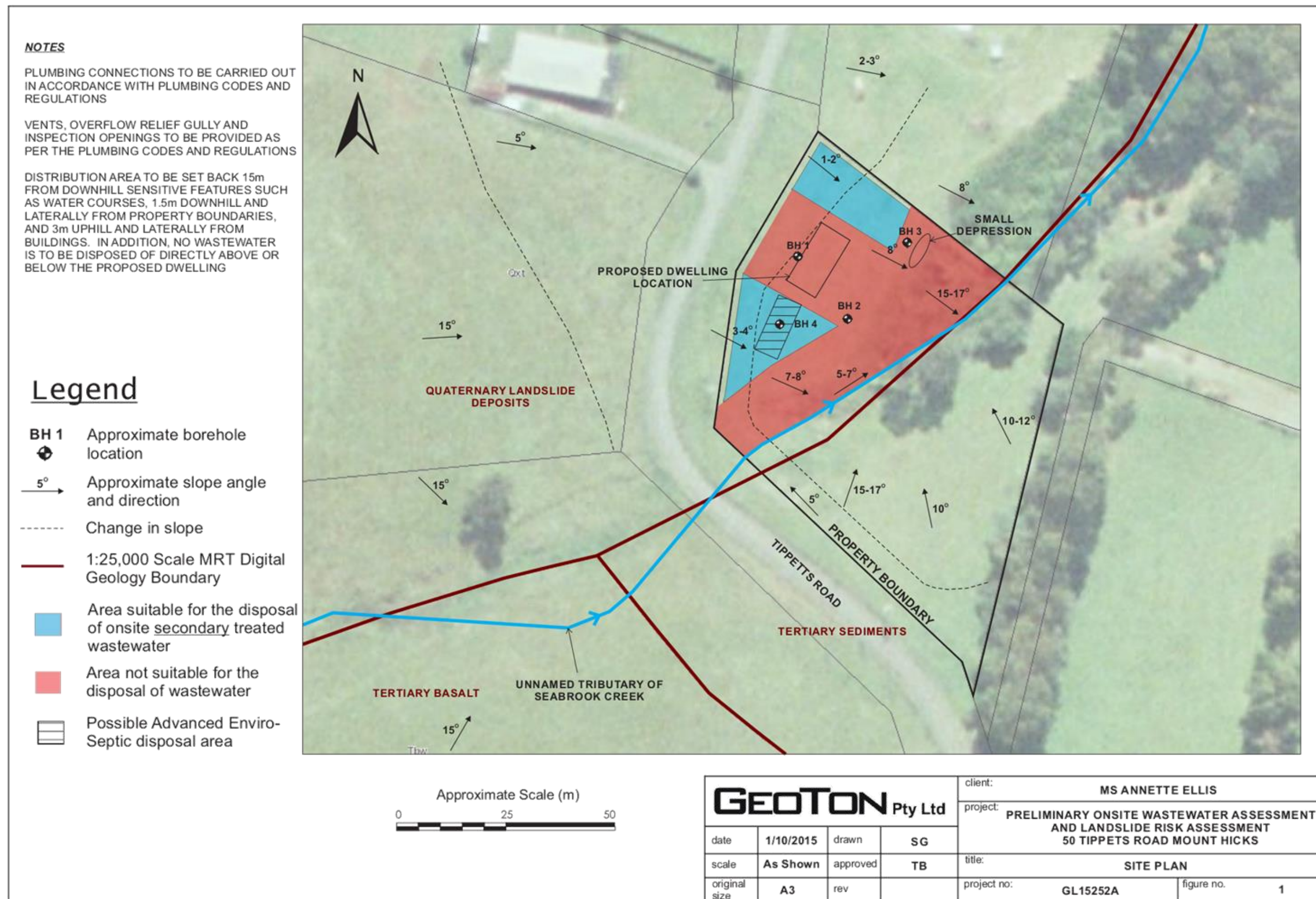
Geoton will not be responsible for interpretations of site data or the report findings by others involved in the design and construction process. Where any confusion exists, clarification should be sought from Geoton.

### **Report integrity**

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

### **Geoenvironmental issues**

This report does not cover issues of site contamination unless specifically required to do so by the client. In the absence of such a request, Geoton take no responsibility for such issues.



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## Appendix A

### Borehole Logs



**Enclosure 1 Proposal Documentation**

**GEOTON** Pty Ltd

**ENGINEERING  
BOREHOLE LOG**

**Geotechnical Consultants**

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

Borehole no. BH1

Sheet no. 1 of 1

Job no. GL15252A

Client :		Ms Annette Ellis		Date : 2/09/2015	
Project :		Preliminary Wastewater Assessment and Landslide Risk Assessment		Logged By : SG/ MS	
Location :		50 Tippetts Road, Mount Hicks			
Drill model :		Hand Auger		Inclination: -90° RL Surface :	
Hole diameter :		80mm		Northing: Bearing: - Datum :	

Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA	N			<b>D</b> LL = 63% PL = 38% PI = 25%	0.50	MH	FILL - Clayey Silt, low plasticity brown, with a trace of gravel	M	F/St	disturbed soil
							CLAYEY SILT - high plasticity, brown/ grey, trace gravel/ cobbles	M	St	v = 90kPa natural
							with some gravel (black weathered rock), becoming brown mottled orange	VSt	V = 110kPa	
							slight increase in moisture	St	V = 94kPa	
					1.50		Borehole BH1 refusal @ 1.4m on inferred cobble/ boulder			
					2.00					
					2.50					
					3.00					
					3.50					
					4.00					



**Enclosure 1 Proposal Documentation**

**GEOTON** Pty Ltd

**ENGINEERING  
BOREHOLE LOG**

**Geotechnical Consultants**

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

Borehole no. BH2

Sheet no. 1 of 1

Job no. GL15252A

Client :		Ms Annette Ellis		Date : 2/09/2015						
Project :		Preliminary Wastewater Assessment and Landslide Risk Assessment		Logged By : SG/ MS						
Location :		50 Tippetts Road, Mount Hicks								
Drill model :		Hand Auger	Easting:	Inclination: -90 <sup>0</sup>	RL Surface :					
Hole diameter :		80mm	Northing:	Bearing: -	Datum :					
Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA	N			DCP, 2			TOPSOIL - Clayey Silt, low/ medium plasticity, brown, trace gravel/ cobble	M	F	topsoil
				4						
				5						
				5						
				4	0.50	MH	CLAYEY SILT - high plasticity, brown, with some gravel (predominantly sub-rounded)	M	St	V = 94kPa
				4			becoming orange and brown, slight increase in moisture			
				5						
				6						
				5						
				4	1.00				St	V = 60kPa
				4						
				3						
				4						
				3						
				3	1.50		increase in gravel, becoming orange/ brown mottled cream, slight decrease in moisture			V = 90kPa
				4						
				5						
				7					VSt	
				8						
				7	2.00					V = 120kPa
					2.50		decrease in moisture	D/M		V = 114kPa
							increase in gravel			
					3.00					V = refusal
							Borehole BH2 terminated @ 3.0m			
					3.50					
					4.00					

## Enclosure 1 Proposal Documentation



## Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

# ENGINEERING BOREHOLE LOG

Borehole no. BH3

Sheet no. 1 of 1

Job no. GL15252A

Client :	Ms Annette Ellis	Date :	2/09/2015				
Project :	Preliminary Wastewater Assessment and Landslide Risk Assessment	Logged By :	SG/ MS				
Location :	50 Tippetts Road, Mount Hicks						
Drill model :	Hand Auger	Easting:	Inclination: -90° RL Surface :				
Hole diameter :	80mm	Northing:	Bearing: - Datum :				
Method Support Penetration Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA N				TOPSOIL - Clayey Silt, low plasticity, dark brown	M	F	topsoil
		0.50	ML	CLAYEY SILT - medium plasticity, light brown becoming brown/ orange	M	F/St	V = 100kPa
	D		MH	CLAYEY SILT - high plasticity, orange/ brown mottled cream	M	St	
	LL = 77% PI = 35%	1.00				VSt	V = 102kPa
		1.50		increase in moisture		F/St	V = 50kPa
		2.00					V = 60kPa
		2.50					
	D	3.00		increasing silt content, becoming brown			slight increase in penetration moisture content = 54%
				Borehole BH3 terminated @ 3.0m			
		3.50					
		4.00					

**Enclosure 1 Proposal Documentation**

**GEOTON** Pty Ltd

**Geotechnical Consultants**

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

**ENGINEERING  
BOREHOLE LOG**

Borehole no. BH4

Sheet no. 1 of 1

Job no. GL15252A

Client :		Ms Annette Ellis		Date : 2/09/2015	
Project :		Preliminary Wastewater Assessment and Landslide Risk Assessment		Logged By : SG/ MS	
Location :		50 Tippetts Road, Mount Hicks			
Drill model :		Hand Auger		Inclination: -90°	
Hole diameter :		80mm		RL Surface :	
		Easting:		Bearing: -	
		Northing:		Datum :	

Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations	
HA	N			DCP, 1			TOPSOIL - Clayey Silt, low plasticity, brown	M	F		
				6							
				4							
				5							
				6	0.50	ML	CLAYEY SILT - medium plasticity, brown	M	St	V = 95kPa	
				6							
				6							
				7							
				5		MH	CLAYEY SILT - high plasticity brown/ grey, trace gravel/ cobble	M	St		
				7	1.00						
				12						VSt	
				8							
				10							
				11							
				10	1.50						
									V = refusal		
					2.00		Borehole BH4 refusal @ 1.8m on inferred cobble/ boulder				
					2.50						
					3.00						
					3.50						
					4.00						

# **GEOTON** Pty Ltd

## **Borehole Log Explanation Sheet**

### Method

TERM	Description
AS	Auger Screwing*
AD	Auger Drilling*
RR	Roller / Tricone
W	Washbore
CT	Cable Tool
HA	Hand Auger
DT	Diatube
B	Blank Bit
V	V Bit
T	TC Bit

\* Bit shown by suffix e.g. ADT

### Support

TERM	Description
M	Mud
N	Nil
C	Casing

### Notes, samples, tests

TERM	Description
U <sub>50</sub>	Undisturbed sample 50 mm diameter
U <sub>63</sub>	Undisturbed sample 63 mm diameter
D	Disturbed sample
N	Standard Penetration Test (SPT)
N*	SPT – sample recovered
N <sub>c</sub>	SPT with solid cone
V	Vane Shear
PP	Pocket Penetrometer
P	Pressumeter
B <sub>s</sub>	Bulk sample
E	Environmental Sample
R	Refusal

### Penetration

1	2	3	4

No resistance ranging to refusal

### Water

Symbol	Description
	Water inflow
	Water outflow
	17/3/08 water on date shown

### Classification symbols and soil description

Based on unified classification system

### Moisture

TERM	Description
D	Dry
M	Moist
W	Wet
W <sub>p</sub>	Plastic Limit
W <sub>L</sub>	Liquid Limit

### Consistency/Density index

TERM	Description
VS	very soft
S	soft
F	firm
St	stiff
VSt	very stiff
H	hard
Fb	friable
VL	very loose
L	loose
MD	medium dense
D	dense
VD	Very dense



## Soil Description Explanation Sheet(1of 2)

### DEFINITION:

In engineering terms soil includes every type of uncemented or partially cemented inorganic or organic material found in the ground. In practice, if the material can be remoulded or disintegrated by hand in its field condition or in water it is described as a soil. Other materials are described using rock description terms.

### CLASSIFICATION SYMBOL & SOIL NAME

Soils are described in accordance with the Unified Classification System (UCS) as shown in the table on Sheet 2.

### PARTICLE SIZE DESCRIPTIVE TERMS

NAME	SUBDIVISION	SIZE
Boulders		>200 mm
Cobbles		63 mm to 200 mm
Gravel	coarse	20 mm to 63 mm
	medium	6 mm to 20 mm
	fine	2.36 mm to 6 mm
Sand	coarse	600 µm to 2.36 mm
	medium	200 µm to 600 µm
	Fine	75 µm to 200 µm

### MOISTURE CONDITION

**Dry** Looks and feels dry. Cohesive and cemented soils are hard, friable or powdery. Uncemented granular soils run freely through hands.

**Moist** Soil feels cool and darkened in colour. Cohesive soils can be moulded. Granular soils tend to cohere.

**Wet** As for moist but with free water forming on hands when handled.

### CONSISTENCY OF COHESIVE SOILS

TERM	UNDRAINED STRENGTH $s_u$ (kPa)	FIELD GUIDE
Very Soft	<12	A finger can be pushed well into the soil with little effort.
Soft	12 - 25	A finger can be pushed into the soil to about 25mm depth.
Firm	25 - 50	The soil can be indented about 5mm with the thumb, but not penetrated.
Stiff	50 - 100	The surface of the soil can be indented with the thumb, but not penetrated.
Very Stiff	100 - 200	The surface of the soil can be marked, but not indented with thumb pressure.
Hard	>200	The surface of the soil can be marked only with the thumbnail.
Friable	—	Crumbles or powders when scraped by thumbnail.

### DENSITY OF GRANULAR SOILS

TERM	DENSITY INDEX (%)
Very loose	Less than 15
Loose	15 - 35
Medium Dense	35 - 65
Dense	65 - 85
Very Dense	Greater than 85

### MINOR COMPONENTS

TERM	ASSESSMENT GUIDE	PROPORTION OF MINOR COMPONENT IN:
Trace of	Presence just detectable by feel or eye, but soil properties little or no different to general properties of primary component.	Coarse grained soils: <5% Fine grained soils: <15%
With some	Presence easily detected by feel or eye, soil properties little different to general properties of primary component.	Coarse grained soils: 5 - 12% Fine grained soils: 15 - 30%

### SOIL STRUCTURE

ZONING	CEMENTING
Layers Continuous across exposure or sample.	Weakly cemented Easily broken up by hand in air or water.
Lenses Discontinuous layers of lenticular shape.	Moderately cemented Effort is required to break up the soil by hand in air or water.
Pockets Irregular inclusions of different material.	

### GEOLOGICAL ORIGIN

#### WEATHERED IN PLACE SOILS

Extremely weathered material	Structure and fabric of parent rock visible.
Residual soil	Structure and fabric of parent rock not visible.

#### TRANSPORTED SOILS

Aeolian soil	Deposited by wind.
Alluvial soil	Deposited by streams and rivers.
Colluvial soil	Deposited on slopes (transported downslope by gravity).
Fill	Man made deposit. Fill may be significantly more variable between tested locations than naturally occurring soils
Lacustrine soil	Deposited by lakes.
Marine soil	Deposited in ocean basins, bays, beaches and estuaries.



## Soil Description Explanation Sheet (2 of 2)

### SOIL CLASSIFICATION INCLUDING IDENTIFICATION AND DESCRIPTION

FIELD IDENTIFICATION PROCEDURES (Excluding particles larger than 60 mm and basing fractions on estimated mass)					USC	PRIMARY NAME	
COARSE GRAINED SOILS More than 50% of materials less than 63 mm is larger than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to the naked eye)	GRAVELS More than half of coarse fraction is larger than 2.0 mm	CLEAN GRAVELS (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate particle sizes.	GW	GRAVEL	
				Predominantly one size or a range of sizes with more intermediate sizes missing.	GP	GRAVEL	
			GRAVELS WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML below)	GM	SILTY GRAVEL	
				Plastic fines (for identification procedures see CL below)	GC	CLAYEY GRAVEL	
		SANDS More than half of coarse fraction is smaller than 2.0 mm	CLEAN SANDS (Little or no fines)	Wide range in grain sizes and substantial amounts of all intermediate sizes missing	SW	SAND	
				Predominantly one size or a range of sizes with some intermediate sizes missing.	SP	SAND	
			SANDS WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML below).	SM	SILTY SAND	
				Plastic fines (for identification procedures see CL below).	SC	CLAYEY SAND	
FINE GRAINED SOILS More than 50% of Material less than 63 mm is smaller than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to the naked eye)	IDENTIFICATION PROCEDURES ON FRACTIONS <0.2 mm.					
		SILTS & CLAYS Liquid limit less than 50	DRY STRENGTH	DILATANCY	TOUGHNESS		
			None to Low	Quick to slow	None	ML	SILT
			Medium to High	None	Medium	CL	CLAY
			Low to medium	Slow to very slow	Low	OL	ORGANIC SILT
		SILTS & CLAYS Liquid limit greater than 50	Low to medium	Slow to very slow	Low to medium	MH	SILT
			High	None	High	CH	CLAY
			Medium to High	None	Low to medium	OH	ORGANIC CLAY
HIGHLY ORGANIC SOILS		Readily identified by colour, odour, spongy feel and frequently by fibrous texture.			Pt	PEAT	
● Low plasticity – Liquid Limit WL less than 35%. ● Medium plasticity – WL between 35% and 50%.							

### COMMON DEFECTS IN SOIL

TERM	DEFINITION	DIAGRAM	TERM	DEFINITION	DIAGRAM
PARTING	A surface or crack across which the soil has little or no tensile strength. Parallel or sub parallel to layering (eg bedding). May be open or closed.		SOFTENED ZONE	A zone in clayey soil, usually adjacent to a defect in which the soil has a higher moisture content than elsewhere.	
JOINT	A surface or crack across which the soil has little or no tensile strength but which is not parallel or sub parallel to layering. May be open or closed. The term 'fissure' may be used for irregular joints <0.2 m in length.		TUBE	Tubular cavity. May occur singly or as one of a large number of separate or inter-connected tubes. Walls often coated with clay or strengthened by denser packing of grains. May contain organic matter	
SHEARED ZONE	Zone in clayey soil with roughly parallel near planar, curved or undulating boundaries containing closely spaced, smooth or slickensided, curved intersecting joints which divide the mass into lenticular or wedge shaped blocks.		TUBE CAST	Roughly cylindrical elongated body of soil different from the soil mass in which it occurs. In some cases the soil which makes up the tube cast is cemented.	
SHEARED SURFACE	A near planar curved or undulating, smooth, polished or slickensided surface in clayey soil. The polished or slickensided surface indicates that movement (in many cases very little) has occurred along the defect.		INFILLED SEAM	Sheet or wall like body of soil substance or mass with roughly planar to irregular near parallel boundaries which cuts through a soil mass. Formed by infilling of open joints.	



## Appendix B

### Qualitative Terminology for Use in Assessing Risk to Property

**QUALITATIVE TERMINOLOGY FOR USE IN ASSESSING RISK TO PROPERTY****QUALITATIVE MEASURES OF LIKELIHOOD**

Approximate Annual Probability		Implied Indicative Landslide Recurrence Interval		Description	Descriptor	Level
Indicative Value	Notional Boundary					
10 <sup>-1</sup>	5x10 <sup>-2</sup>	10 years	20 years	The event is expected to occur over the design life.	ALMOST CERTAIN	A
10 <sup>-2</sup>		100 years		The event will probably occur under adverse conditions over the design life.	LIKELY	B
10 <sup>-3</sup>	5x10 <sup>-3</sup>	1000 years	200 years	The event could occur under adverse conditions over the design life.	POSSIBLE	C
10 <sup>-4</sup>	5x10 <sup>-4</sup>	10,000 years	2000 years	The event might occur under very adverse circumstances over the design life.	UNLIKELY	D
10 <sup>-5</sup>	5x10 <sup>-5</sup>	100,000 years	20,000 years	The event is conceivable but only under exceptional circumstances over the design life.	RARE	E
10 <sup>-6</sup>	5x10 <sup>-6</sup>	1,000,000 years	200,000 years	The event is inconceivable or fanciful over the design life.	BARELY CREDIBLE	F

**Note:** (1) The table should be used from left to right; use Approximate Annual Probability or Description to assign Descriptor, not *vice versa*.

**QUALITATIVE MEASURES OF CONSEQUENCES TO PROPERTY**

Approximate Cost of Damage		Description	Descriptor	Level
Indicative Value	Notional Boundary			
200%	100%	Structure(s) completely destroyed and/or large scale damage requiring major engineering works for stabilisation. Could cause at least one adjacent property major consequence damage.	CATASTROPHIC	1
60%		Extensive damage to most of structure, and/or extending beyond site boundaries requiring significant stabilisation works. Could cause at least one adjacent property medium consequence damage.	MAJOR	2
20%	40%	Moderate damage to some of structure, and/or significant part of site requiring large stabilisation works. Could cause at least one adjacent property minor consequence damage.	MEDIUM	3
5%	10%	Limited damage to part of structure, and/or part of site requiring some reinstatement stabilisation works.	MINOR	4
0.5%	1%	Little damage. (Note for high probability event (Almost Certain), this category may be subdivided at a notional boundary of 0.1%. See Risk Matrix.)	INSIGNIFICANT	5

- Notes:**
- (2) The Approximate Cost of Damage is expressed as a percentage of market value, being the cost of the improved value of the unaffected property which includes the land plus the unaffected structures.
  - (3) The Approximate Cost is to be an estimate of the direct cost of the damage, such as the cost of reinstatement of the damaged portion of the property (land plus structures), stabilization works required to render the site to tolerable risk level for the landslide which has occurred and professional design fees, and consequential costs such as legal fees, temporary accommodation. It does not include additional stabilisation works to address other landslides which may affect the property.
  - (4) The table should be used from left to right; use Approximate Cost of Damage or Description to assign Descriptor, not *vice versa*

Geoton Pty Ltd (adapted from Australian Geomechanics Vol 42 No 1 March 2007)

**QUALITATIVE TERMINOLOGY FOR USE IN ASSESSING RISK TO PROPERTY (CONTINUED)****QUALITATIVE RISK ANALYSIS MATRIX – LEVEL OF RISK TO PROPERTY**

LIKELIHOOD		CONSEQUENCES TO PROPERTY (With Indicative Approximate Cost of Damage)				
	Indicative Value of Approximate Annual Probability	1: CATASTROPHIC 200%	2: MAJOR 60%	3: MEDIUM 20%	4: MINOR 5%	5: INSIGNIFICANT 0.5%
A – ALMOST CERTAIN	10 <sup>-1</sup>	VH	VH	VH	H	M or L (5)
B - LIKELY	10 <sup>-2</sup>	VH	VH	H	M	L
C - POSSIBLE	10 <sup>-3</sup>	VH	H	M	M	VL
D - UNLIKELY	10 <sup>-4</sup>	H	M	L	L	VL
E - RARE	10 <sup>-5</sup>	M	L	L	VL	VL
F - BARELY CREDIBLE	10 <sup>-6</sup>	L	VL	VL	VL	VL

**Notes:** (5) For Cell A5, may be subdivided such that a consequence of less than 0.1% is Low Risk.

(6) When considering a risk assessment it must be clearly stated whether it is for existing conditions or with risk control measures which may not be implemented at the current time.

**RISK LEVEL IMPLICATIONS**

Risk Level		Example Implications (7)
VH	VERY HIGH RISK	Unacceptable without treatment. Extensive detailed investigation and research, planning and implementation of treatment options essential to reduce risk to Low; may be too expensive and not practical. Work likely to cost more than value of the property.
H	HIGH RISK	Unacceptable without treatment. Detailed investigation, planning and implementation of treatment options required to reduce risk to Low. Work would cost a substantial sum in relation to the value of the property.
M	MODERATE RISK	May be tolerated in certain circumstances (subject to regulator's approval) but requires investigation, planning and implementation of treatment options to reduce the risk to Low. Treatment options to reduce to Low risk should be implemented as soon as practicable.
L	LOW RISK	Usually acceptable to regulators. Where treatment has been required to reduce the risk to this level, ongoing maintenance is required.
VL	VERY LOW RISK	Acceptable. Manage by normal slope maintenance procedures.

**Note:** (7) The implications for a particular situation are to be determined by all parties to the risk assessment and may depend on the nature of the property at risk; these are only given as a general guide

## Appendix C

### Some Guidelines for Hillside Construction

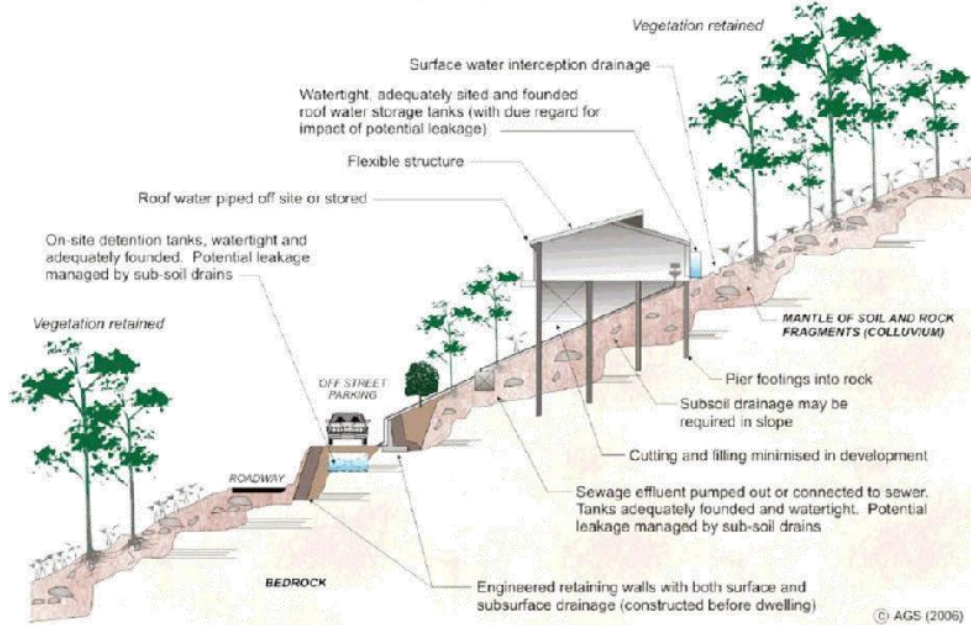
## PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

### APPENDIX - SOME GUIDELINES FOR HILLSIDE CONSTRUCTION

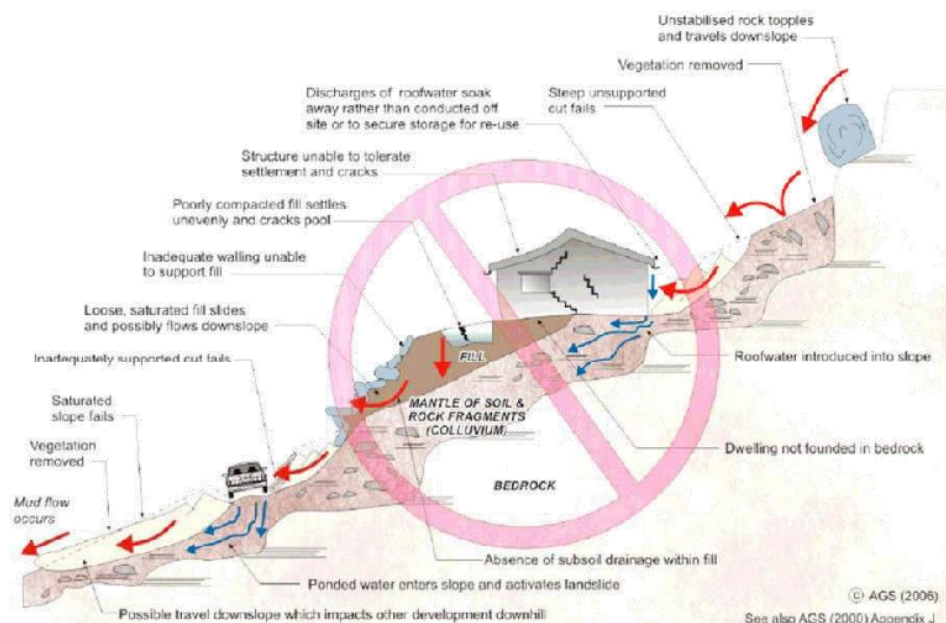
<b>ADVICE</b>		<b>GOOD ENGINEERING PRACTICE</b>	<b>POOR ENGINEERING PRACTICE</b>
<b>GEOTECHNICAL ASSESSMENT</b>		Obtain advice from a qualified, experienced geotechnical practitioner at early stage of planning and before site works.	Prepare detailed plan and start site works before geotechnical advice.
<b>PLANNING</b>			
<b>SITE PLANNING</b>		Having obtained geotechnical advice, plan the development with the risk arising from the identified hazards and consequences in mind.	Plan development without regard for the Risk.
<b>DESIGN AND CONSTRUCTION</b>			
<b>HOUSE DESIGN</b>		Use flexible structures which incorporate properly designed brickwork, timber or steel frames, timber or panel cladding. Consider use of split levels. Use decks for recreational areas where appropriate.	Floor plans which require extensive cutting and filling. Movement intolerant structures.
<b>SITE CLEARING</b>		Retain natural vegetation wherever practicable.	Indiscriminately clear the site.
<b>EARTHWORKS</b>		Retain natural contours wherever possible.	Indiscriminatory bulk earthworks.
<b>CUTS</b>		Minimise depth. Support with engineered retaining walls or batter to appropriate slope. Provide drainage measures and erosion control.	Large scale cuts and benching. Unsupported cuts. Ignore drainage requirements.
<b>FILLS</b>		Minimise height. Strip vegetation and topsoil and key into natural slopes prior to filling. Use clean fill materials and compact to engineering standards. Batter to appropriate slope or support with engineered retaining wall. Provide surface drainage and appropriate subsurface drainage.	Loose or poorly compacted fill, which if it fails, may flow a considerable distance including onto property below. Block natural drainage lines. Fill over existing vegetation and topsoil. Include stumps, trees, vegetation, topsoil, boulders, building rubble etc in fill.
<b>ROCK OUTCROPS &amp; BOULDERS</b>		Remove or stabilise boulders which may have unacceptable risk. Support rock faces where necessary.	Disturb or undercut detached blocks or boulders.
<b>RETAINING WALLS</b>		Found on rock where practicable. Provide subsurface drainage within wall backfill and surface drainage on slope above. Construct wall as soon as possible after cut/fill operation.	Construct a structurally inadequate wall such as sandstone flagging, brick or unreinforced blockwork. Lack of subsurface drains and weepholes.
<b>FOOTINGS</b>		Found within rock where practicable. Use rows of piers or strip footings oriented up and down slope. Design for lateral creep pressures if necessary. Backfill footing excavations to exclude ingress of surface water.	Found on topsoil, loose fill, detached boulders or undercut cliffs.
<b>SWIMMING POOLS</b>		Engineer designed. Support on piers to rock where practicable. Provide with under-drainage and gravity drain outlet where practicable. Design for high soil pressures which may develop on uphill side whilst there may be little or no lateral support on downhill side.	
<b>DRAINAGE</b>		Provide at tops of cut and fill slopes. Discharge to street drainage or natural water courses. Provide general falls to prevent blockage by siltation and incorporate silt traps. Line to minimise infiltration and make flexible where possible. Special structures to dissipate energy at changes of slope and/or direction.	Discharge at top of fills and cuts. Allow water to pond on bench areas.
<b>SURFACE</b>		Provide filter around subsurface drain. Provide drain behind retaining walls. Use flexible pipelines with access for maintenance. Prevent inflow of surface water.	Discharge roof runoff into absorption trenches.
<b>SUBSURFACE</b>		Usually requires pump-out or mains sewer systems; absorption trenches may be possible in some areas if risk is acceptable. Storage tanks should be water-tight and adequately founded.	Discharge sullage directly onto and into slopes. Use absorption trenches without consideration of landslide risk.
<b>SEPTIC &amp; SULLAGE</b>		Control erosion as this may lead to instability. Revegetate cleared area.	Failure to observe earthworks and drainage recommendations when landscaping.
<b>EROSION CONTROL &amp; LANDSCAPING</b>			
<b>DRAWINGS AND SITE VISITS DURING CONSTRUCTION</b>			
<b>DRAWINGS</b>		Building Application drawings should be viewed by geotechnical consultant	
<b>SITE VISITS</b>		Site Visits by consultant may be appropriate during construction/	
<b>INSPECTION AND MAINTENANCE BY OWNER</b>			
<b>OWNER'S RESPONSIBILITY</b>		Clean drainage systems; repair broken joints in drains and leaks in supply pipes. Where structural distress is evident see advice. If seepage observed, determine causes or seek advice on consequences.	

## PRACTICE NOTE GUIDELINES FOR LANDSLIDE RISK MANAGEMENT 2007

### EXAMPLES OF **GOOD** HILLSIDE PRACTICE



### EXAMPLES OF **POOR** HILLSIDE PRACTICE



Australian Geomechanics Vol 42 No 1 March 2007



## Appendix D

### Certificate Forms

## CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM

Section 321

To: Ms Annette Ellis Owner /Agent  
 PO Box 505 Address  
 WYNYARD TAS 7325 Suburb/postcode

Form **55**

### Qualified person details:

Qualified person: Tony Barriera - Geoton Pty. Ltd.  
 Address: PO Box 522 Phone No: 03 6326 5001  
 PROSPECT TAS 7250 Fax No:  
 Licence No: CC6220 P Email address: tbarriera@geoton.com.au

Qualifications and Insurance details: Tony Barriera – BEng, MSc  
 CPEng, NER – IEAust 471929  
 Civil, Geotechnical  
 Certain Underwriters at Lloyd's-  
 ENG 19 000330 (description from Column 3 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

Speciality area of expertise: Geotechnical Engineering (description from Column 4 of the Director's Determination - Certificates by Qualified Persons for Assessable Items)

### Details of work:

Address: 50 Tippetts Road Lot No: 1  
 MOUNT HICKS TAS 7325 Certificate of title No: 133988/1  
 The assessable item related to this certificate: Classification of foundation conditions according to AS2870 - 2011 (description of the assessable item being certified)  
 Assessable item includes –  
 - a material;  
 - a design  
 - a form of construction  
 - a document  
 - testing of a component, building system or plumbing system  
 - an inspection, or assessment, performed

### Certificate details:

Certificate type: Foundation Site Classification – AS2870 (description from Column 1 of Schedule 1 of the Director's Determination - Certificates by Qualified Persons for Assessable Items n)

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work: ☐

or

a building, temporary structure or plumbing installation: ☒

**Enclosure 1 Proposal Documentation**

---

In issuing this certificate the following matters are relevant –

Documents:

Geoton Pty Ltd, Report Reference No. GL15252Ab,  
dated 01/10/2015

Relevant  
calculations:

Refer to report

References:

AS 2870 – 2011 Residential Slabs and Footings Construction  
AS 4055 – 2012 Wind Loads for Housing  
CSIRO Building Technical File 18

*Substance of Certificate: (what it is that is being certified)*

Site Classification in accordance to AS2870 - 2011  
Wind Loading in accordance to AS 4055 - 2012  
Findings and recommendations of report

*Scope and/or Limitations*

The classification applies to the site as investigated at the time and does not account for  
any future alteration to foundation conditions resulting from earthworks, drainage  
condition changes or site maintenance variations.

**I certify the matters described in this certificate.**

*Signed:*

Qualified person:



*Certificate No:*

GL15252Ab

*Date:*

01/10/2015



## Engineering Certificate

To: Ms Annette Ellis  
PO Box 505  
WYNYARD TAS 7325

Owner /Agent  
Address  
Suburb/postcode

### Certifier details:

From: Geoton Pty Ltd  
Address: PO Box 522  
Prospect, Tas 7250  
Accreditation No: (if applicable)  
Or qualifications and Insurance details: Tony Barriera - Chartered Professional Engineer NPER3 - Civil, Geotechnical Lloyds of London  
Speciality area of expertise: Geotechnical Engineering  
Landslide Risk Assessments

Phone No: (03) 6326 5001  
Fax No: (03) 6326 5003

Email address: tbarriera@geoton.com.au

(description from Column 4 of the Director of Building Control's determination)

(description from Column 5 of the Director of Building Control's determination)

### Details of work:

Address: 50 Tippetts Road  
Mount Hicks 7325  
The work related to this certificate: Landslide Risk Assessment

Lot No: 1

Certificate of title No: 133988/1

(description of the work or part work being certified)

### Certificate details:

Certificate type: Geotechnical

(description from Column 2 of the Director of Building Control's determination)

In issuing this certificate the following matters are relevant –

Documents: Geoton Pty Ltd, Report Reference No. GL15252Ab, dated 1/10/2015.  
Relevant calculations: Refer to report  
References: Australian Geomechanics Society – Practice Note Guidelines for Landslide Risk Management, 2007



*Substance of Certificate:*

Findings and recommendations of report (Report Reference No. GL15252Ab).

From the Waratah Wynyard Interim Planning Scheme 2013 the site is within a Medium landslide hazard zone. As such, a landslide risk assessment is required to determine if the level of risk from exposure to the landslide hazard is to be tolerable for the type, form, scale and duration of the development.

The landslide risk assessment was conducted in accordance with Australian Geomechanics Society (AGS) – Practice Note Guidelines For Landslide Risk Management, 2007. Our report concluded that the qualitative landslide risk for the site is at worst a LOW risk provided the development of the site is in accordance with the recommendations within our report. In our experience, regulating authorities allow developments to proceed with VERY LOW to LOW risk.

Therefore, provided the development of the site is in accordance with the recommendations within our report, then we consider that a tolerable level of risk can be achieved for the development of the site in accordance with section E6.6.2 (Development on land exposed to a natural hazard) of the Hazard Management Code of the Waratah Wynyard Interim Planning Scheme 2013. That is, the level of likely risk from exposure to the natural hazard (landslide) is considered to be tolerable for the proposed residential development.

*Scope or Limitations*

The report provides a qualitative landslide risk assessment which identifies the landslide risks at the site and provides recommendations to maintain, improve and possibly reduce the risk of landslides so as not cause or contribute to the risk of landslides on the site and lands in the locality.

The site is within an area of inherent doubtful slope stability and landslides are a natural ongoing geological process. There will be always some level of landslide risk within an area of inherent doubtful slope stability. The recommendations of the report are provided to maintain, improve and possibly reduce the risk of landslides on the site and lands in the locality.

The recommendations for the design of the proposed works are in accordance with prevailing geological conditions described in the report for the site, assessed landslide risks and recommended good hillside practices.

**I certify the matters described in this certificate.**

	<i>Signed:</i>	<i>Date:</i>	<i>Certificate No.</i>
Certifier:		<b>1/10/15</b>	<b>GL15252Ab</b>

**GEOTON** Pty Ltd  
**Geotechnical Consultants**

**Geoton Pty Ltd** ABN 81 129 764 629  
PO Box 522 Prospect TAS 7250  
Unit 24, 16-18 Goodman Court  
Invermay TAS 7248  
Tel (+61) (3) 6326 5001  
[www.geoton.com.au](http://www.geoton.com.au)

1 February 2016

Reference No. GL15252Bc

Ms Annette Ellis  
PO Box 505  
WYNYARD TAS 7325

Attention: Contact

Dear Sir

**RE: On-site Wastewater Soil Evaluation & Design  
50 Tippetts Road, Mount Hicks**

We have pleasure in submitting herein our report detailing the results of the geotechnical investigation conducted at the above site.

Should you require clarification of any aspect of this report, please contact Matthew Street on 03 6326 5001.

For and on behalf of

**Geoton Pty Ltd**



**Matthew Street**

Engineering Geologist



On-site Wastewater Soil Evaluation & Design

## **1 INTRODUCTION**

A limited scope investigation has been conducted for Ms Annette Ellis at the site of a proposed residential development at Tippetts Road, Mount Hicks (Title Reference 133988/1).

The investigation has been conducted to assess the suitability of the site for the disposal of septic effluent in accordance with AS/NZS 1547:2012 "On-site domestic-wastewater management".

A site plan showing the proposed dwelling location was provided, prepared by EnviroPlan, (Drawing No.215184-01, dated July 2015).

We understand the development consists of a 2 bedroom dwelling.

A previous landslide risk assessment and preliminary wastewater assessment was conducted by Geoton (report reference GL15252A, dated 1 October 2015) that identified a suitable building envelope and disposal area for onsite wastewater. The report also indicated that due to the environmental constraints at the site all wastewater to be disposed off is required to be secondary treated.

## **2 BACKGROUND**

### **2.1 Geology**

The Mineral Resources Tasmania (MRT) Digital Geological Atlas, 1:25,000 Series, indicates that the proposed development area (north of the creek) is located on Quaternary aged landslide deposits predominantly derived from weathered Tertiary rocks.

### **2.2 Landslide Hazards**

Examination of the LIST Landslide Planning Map V2, indicates that the proposed development area (north of the creek) is mapped within a medium landslide hazard band. The area south of the creek is not mapped within a landslide hazard band.

Examination of the MRT Tasmanian Landslide Map Series, Wynyard – Landslide Inventory Map, 1:25,000 scale, indicates that the the proposed development area (north of the creek) is located within a large unclassified landslide with the activity being unknown (ID No. 297).

Examination of the MRT Tasmanian Landslide Map Series, Wynyard – Shallow Slide and Flow Susceptibility Map, indicates that the majority of the site is mapped within a low susceptibility source area for shallow landslides.

Examination of the MRT Tasmanian Landslide Map Series, Wynyard – Deep Seated Landslide Susceptibility Map, indicates that the site is not mapped within a susceptibility source area for deep seated first time failure. However, the proposed development area (north of the creek) is within a susceptibility zone for landslide reactivation.

## On-site Wastewater Soil Evaluation & Design

### **3 FIELD INVESTIGATION**

The field investigation was conducted on 2 September 2015 and involved the drilling of 4 boreholes by hand auger to depths of 1.4m to 3.0m. Insitu vane shear strength tests and pocket penetrometer strength tests were conducted in clay layers encountered in the investigation, with sampling of these soils being conducted for subsequent laboratory testing. In addition, the permeability of the site was tested using a Constant Head Permeameter. The results of the field and laboratory tests are shown on the borehole logs.

The logs of the boreholes are included in Appendix A and their locations are shown on Figure 1 attached.

### **4 SITE CONDITIONS**

#### **4.1 Site Description**

The site is intersected by a northeast trending creek (unnamed tributary of Seabrook Creek). To the south of the creek the hill slopes are smooth convex slopes with slope angle of 10° to 17° towards the north. To the north of the creek (the proposed development area) the hill slopes contain gentle subdued undulations with slopes angle between 2° and 17° towards the southeast (towards the creek). The slopes angles typically increase towards the creek.

The proposed building area and surrounds only contained minor subdued undulations and did not show any distinct signs of recent landslide activity.

The proposed wastewater disposal area is located across slope from the proposed dwelling and is setback a minimum of 15m from the below creek.

#### **4.2 Subsurface Conditions**

The investigation indicated that the soil profile is relatively uniform over the site. The boreholes encountered clayey silt topsoil or fill to depths of 0.3m and 0.4m, overlying stiff/very stiff clayey silt to either the investigated depths of 3.0m, or to auger refusal on an inferred boulder at depths of 1.4m (BH1) and 1.8m (BH4).

The investigation did not reveal any signs of seepage over the investigated depths.

Full details of soil conditions encountered are presented on the borehole logs.

An assessment of the plasticity characteristics of the materials encountered indicates that the clayey silt soils at this site possess a high shrink/swell potential.

### **5 EFFLUENT DISPOSAL**

The AS/NZS 1547:2012 provides a guide for typical wastewater flow allowances under a range of circumstances. As a general guide, the standard recommends a typical wastewater flow of 120 litres/person/day for households with standard fixtures on tank water. As the proposed development consists of 2 bedrooms, a population equivalent of 4 has been adopted. As such, a wastewater daily flow of 480L/day has been adopted.

## On-site Wastewater Soil Evaluation & Design

### 5.1 Permeability of Soil and Soil Classification

The soil has been classified as follows:

- Texture - Clayey Silt (Loam) (Table E1 from AS1547-2012);
- Structure- Weakly Structured (Table E4 from AS1547-2012); and
- Category - 4 (Table L1 from AS1547-2012).

The permeability ( $K_{sat}$ ) at the site was measured at 0.15m/day. For weakly structured Category 4 soils the indicative permeability from AS1547 Table L1 is 0.12-0.5m/day. Therefore, the permeability is within the range for weakly structured Category 4 soils.

- Adopted Permeability – 0.15m/day.

### 5.2 Disposal and Treatment Method

The soil within the proposed effluent disposal area is assessed as having sufficient depth and clay content to provide an adequate attenuation period for the breakdown of pathogens within the treated effluent.

As the area available for wastewater disposal is in close proximity to the creek the site is not suitable for a traditional septic tank system (primary treatment only) as the setback distances are not acceptable.

The site assessment therefore indicates that the site requires secondary treated effluent. As such, the site is suitable for the disposal of domestic effluent by way of the following methods:

- Aerated Wastewater Treatment System (AWTS) and sub-surface irrigation; or
- Advanced Enviro-Septic (AES) system via a septic tank with a minimum capacity of 3000L.

The client has opted for an Advanced Enviro-Septic system.

### 5.3 Design Loading Rate

From Table L1 (AS1547-2012) for category 4 soils the adopted design loading rate for secondary treated effluent has been set at 15mm/day. The maximum rate of 20mm/day has not been adopted due to the slope of the site and the measured permeability.

### 5.4 AES System

The required area for the AES disposal field is calculated using the following equation:

$$A = \frac{Q}{DLR}$$

A= Area in m<sup>2</sup>

Q= Design daily flow in L/day

DLR= Design Loading Rate in mm/day

#### On-site Wastewater Soil Evaluation & Design

As the design loading rate has been set at 15mm/day and the daily flow (Q) has been set at 480L/day, when the parameters are inserted in the above equation the area required for the effluent disposal field is 32m<sup>2</sup>.

To satisfy the required disposal field the AES Design Calculator has been utilised to determine the required AES design dimensions. A copy of the approved AES Design Calculator certificate is provided in Appendix B. The AES Design Calculator indicates that the disposal field is required to comprise the following:

- 2 rows of 3 AES pipes with an AES pipe area of 13m<sup>2</sup>; and
- An extension area downhill of the AES pipe area of 19m<sup>2</sup>.

There is adequate area for effluent disposal on site.

There is adequate reserve (back-up) area of 32m<sup>2</sup>.

The AES system is to be constructed as per the cross section detailed on Figure 2 attached. The design details for the disposal field are as follows:

- The sand required for the AES system is required to meet the AES grading envelopes for System Sand. Refer to the AES website ([www.enviro-septic.com.au](http://www.enviro-septic.com.au)) for the approved AES System Sand provider list; and
- The base of the excavated area is required to be ripped to a depth of 300mm.

#### 5.5 Setbacks

The minimum separation distance between the disposal area and downslope features is based on Appendix R from AS/NZS 1547:2012 "Recommended Setback Distances for Land Application Systems". As per Table R1 from AS/NZS 1547:2012 the following setbacks are required for secondary treated effluent:

- 15m from downslope sensitive features such as watercourses;
- 1.5m from downslope property boundaries and buildings; and
- 3m from buildings and property boundaries situated cross slope or up-slope.

#### 5.6 Wastewater Recommendations

It is recommended that the following actions are undertaken in looking after your system:

- Septic tanks **must be** pumped out at least every 3 to 5 years or more frequently depending on usage;
- Minimise water use;
- Minimise the use of non-biodegradable detergents;
- Minimise the use of detergents containing phosphorous (eg calgon and similar);
- Avoid discharging polluting chemicals into wastewater systems; and
- Monitor quality of groundwater.

On-site Wastewater Soil Evaluation & Design

**References:**

AS/NZS 1547- 2012 On-site domestic-wastewater management

**Attachments:**

Limitations of report

Figure 1 – Site Plan

Figure 2 – Advanced Enviro-Septic Section

Appendix A – Borehole Logs & Explanation Sheets

Appendix B – Certificate Forms



## **Geotechnical Consultants - Limitations of report**

These notes have been prepared to assist in the interpretation and understanding of the limitations of this report.

### **Project specific criteria**

The report has been developed on the basis of unique project specific requirements as understood by Geoton and applies only to the site investigated. Project criteria are typically identified in the Client brief and the associated proposal prepared by Geoton and may include risk factors arising from limitations on scope imposed by the Client. The report should not be used without further consultation if significant changes to the project occur. No responsibility for problems that might occur due to changed factors will be accepted without consultation.

### **Subsurface variations with time**

Because a report is based on conditions which existed at the time of subsurface exploration, decisions should not be based on a report whose adequacy may have been affected by time. For example, water levels can vary with time, fill may be placed on a site and pollutants may migrate with time. In the event of significant delays in the commencement of a project, further advice should be sought.

### **Interpretation of factual data**

Site assessment identifies actual subsurface conditions only at those points where samples are taken and at the time they are taken. All available data is interpreted by professionals to provide an opinion about overall site conditions, their likely impact on the proposed development and recommended actions. Actual conditions may differ from those inferred to exist, as it is virtually impossible to provide a definitive subsurface profile which includes all the possible variabilities inherent in soil and rock masses.

### **Report Recommendations**

The report is based on the assumption that the site conditions as revealed through selective point sampling are indicative of actual conditions throughout an area. This assumption cannot be substantiated until earthworks and/or foundation construction is almost complete and therefore the report recommendations can only be regarded as preliminary. Where variations in conditions are encountered, further advice should be sought.

### **Specific purposes**

This report should not be applied to any project other than that originally specified at the time the report was issued.

### **Interpretation by others**

Geoton will not be responsible for interpretations of site data or the report findings by others involved in the design and construction process. Where any confusion exists, clarification should be sought from Geoton.

### **Report integrity**

The report as a whole presents the findings of the site assessment and the report should not be copied in part or altered in any way.

### **Geoenvironmental issues**

This report does not cover issues of site contamination unless specifically required to do so by the client. In the absence of such a request, Geoton take no responsibility for such issues.








#### NOTES

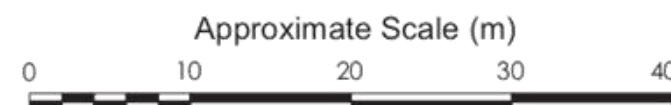
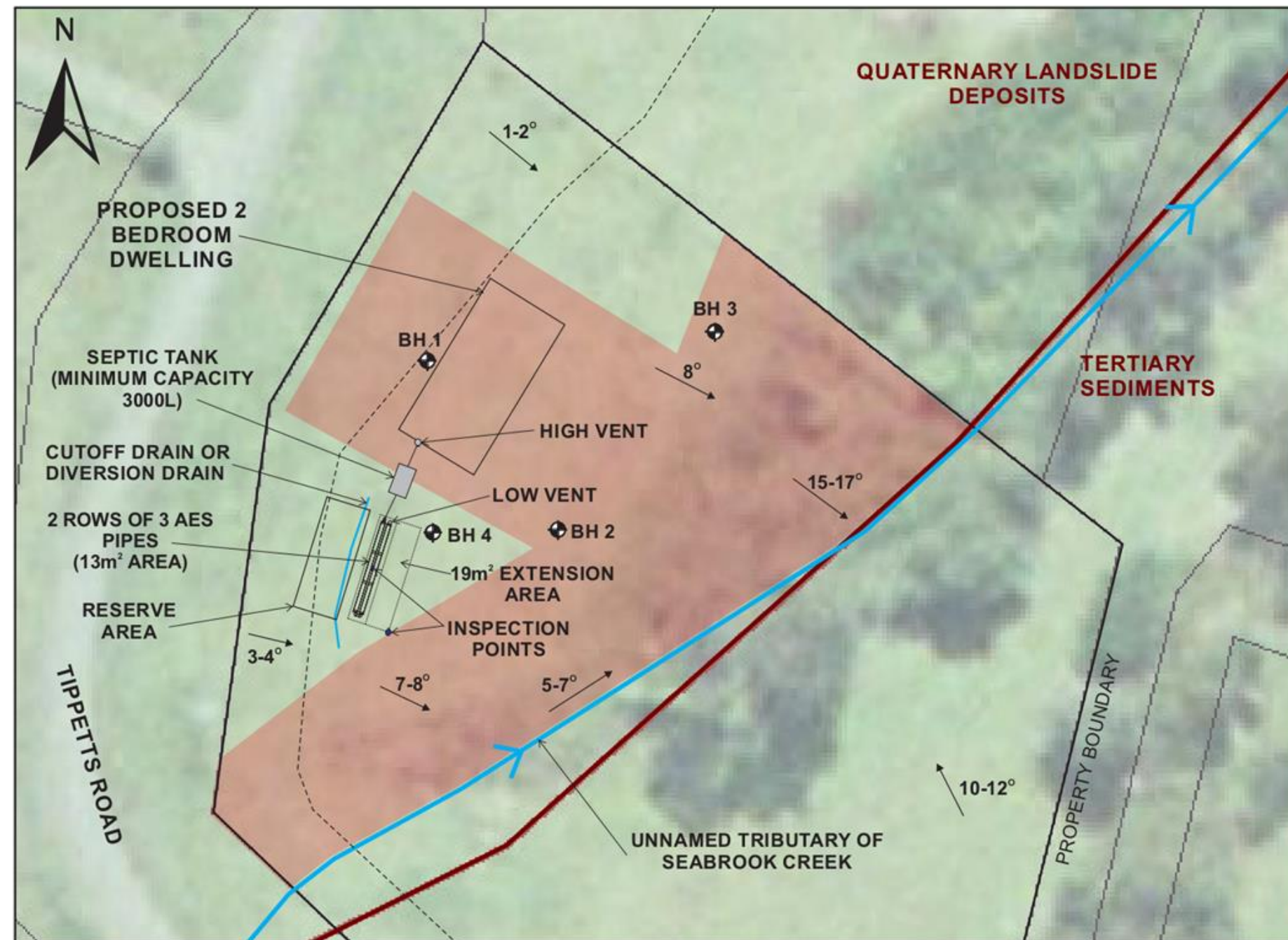
PLUMBING CONNECTIONS TO BE CARRIED OUT IN ACCORDANCE WITH PLUMBING CODES AND REGULATIONS

VENTS, OVERFLOW RELIEF GULLY AND INSPECTION OPENINGS TO BE PROVIDED AS PER THE PLUMBING CODES AND REGULATIONS

DISTRIBUTION AREA TO BE SET BACK 15m FROM DOWNHILL SENSITIVE FEATURES SUCH AS WATER COURSES, 1.5m DOWNHILL AND Laterally FROM PROPERTY BOUNDARIES, AND 3m UPHILL AND Laterally FROM BUILDINGS. IN ADDITION, NO WASTEWATER IS TO BE DISPOSED OF DIRECTLY ABOVE OR BELOW THE PROPOSED DWELLING

#### Legend

- BH 1  Approximate borehole location
-  5° Approximate slope angle and direction
-  Change in slope
-  1:25,000 Scale MRT Digital Geology Boundary
-  Area not suitable for the disposal of wastewater



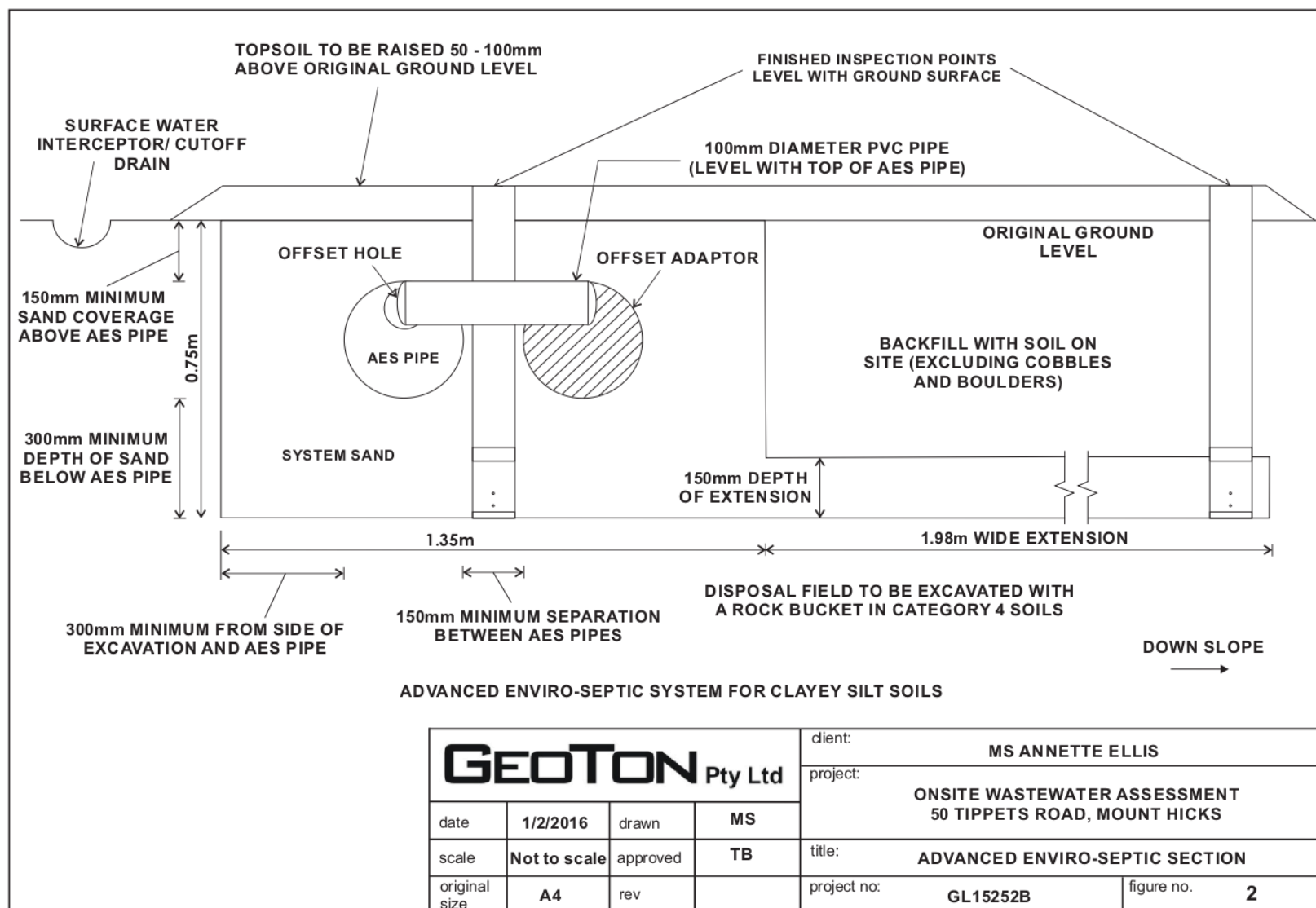
<b>GEOTON</b> Pty Ltd				client:	MS ANNETTE ELLIS	
				project:	ONSITE WASTEWATER ASSESSMENT 50 TIPPETS ROAD MOUNT HICKS	
date	1/2/2016	drawn	MS	title:	SITE PLAN	
scale	As Shown	approved	TB	project no:	GL15252B	figure no. 1
original size	A3	rev				



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**Enclosure 1 Proposal Documentation**



## Appendix A

### Borehole Logs

**Enclosure 1 Proposal Documentation**

**GEOTON** Pty Ltd

**ENGINEERING  
BOREHOLE LOG**

**Geotechnical Consultants**

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

Borehole no. BH1

Sheet no. 1 of 1

Job no. GL15252B

Client :		Ms Annette Ellis		Date : 2/09/2015	
Project :		Wastewater Assessment		Logged By : SG/ MS	
Location :		50 Tippetts Road, Mount Hicks			
Drill model :		Hand Auger		Inclination: -90°	
Hole diameter :		80mm		RL Surface :	
		Northing:		Bearing: -	
				Datum :	

Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA	N			<b>D</b> LL = 63% PL = 38% PI = 25%	0.50	MH	FILL - Clayey Silt, low plasticity brown, with atrace of gravel	M	F/St	disturbed soil
							CLAYEY SILT - high plasticity, brown/ grey, trace gravel/ cobbles	M	St	v = 90kPa natural
							with some gravel (black weathered rock), becoming brown mottled orange	VSt	V = 110kPa	
							slight increase in moisture	St	V = 94kPa	
					1.50		Borehole BH1 refusal @ 1.4m on inferred cobble/ boulder			
					2.00					
					2.50					
					3.00					
					3.50					
					4.00					

**Enclosure 1 Proposal Documentation**

**GEOTON** Pty Ltd

**ENGINEERING  
BOREHOLE LOG**

**Geotechnical Consultants**

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

Borehole no. BH2

Sheet no. 1 of 1

Job no. GL15252B

Client :		Peter & Jan Bush		Date : 2/09/2015						
Project :		Wastewater Assessment		Logged By : SG/ MS						
Location :		50 Tippetts Road, Mount Hicks								
Drill model :		Hand Auger	Easting:	Inclination: -90 <sup>0</sup>	RL Surface :					
Hole diameter :		80mm	Northing:	Bearing: -	Datum :					
Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA	N			DCP, 2			TOPSOIL - Clayey Silt, low/ medium plasticity, brown, trace gravel/ cobble	M	F	topsoil
				4						
				5						
				5						
				4	0.50	MH	CLAYEY SILT - high plasticity, brown, with some grave (predominantly sub-rounded) becoming orange and brown, slight increase in moisture	M	St	V = 94kPa
				4						
				5						
				6						
				5						
				4	1.00				St	V = 60kPa
				4						
				3						
				4						
				3						
				3	1.50		increase in gravel, becoming orange/ brown mottled cream, slight decrease in moisture			V = 90kPa
				4						
				5					VSt	
				7						
				8						
				7	2.00					V = 120kPa
					2.50		decrease in moisture	D/M		V = 114kPa
							increase in gravel			
					3.00					V = refusal

## Enclosure 1 Proposal Documentation



## Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

# ENGINEERING BOREHOLE LOG

Borehole no. BH3

Sheet no. 1 of 1

Job no. GL15252B

Client :		Peter & Jan Bush		Date :		2/09/2015				
Project :		Wastewater Assessment		Logged By :		SG/ MS				
Location :		50 Tippetts Road, Mount Hicks								
Drill model :		Hand Auger		Easting:		Inclination: -90 <sup>0</sup> RL Surface :				
Hole diameter :		80mm		Northing:		Bearing: - Datum :				
Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA	N						TOPSOIL - Clayey Silt, low plasticity, dark brown	M	F	topsoil
					0.50	ML	CLAYEY SILT - medium plasticity, light brown becoming brown/ orange	M	F/St	V = 100kPa
					D	MH	CLAYEY SILT - high plasticity, orange/ brown mottled cream	M	St	
					LL = 77% PI = 35%	1.00			VSt	V = 102kPa
						1.50	increase in moisture	F/St	V = 50kPa	
					2.00			V = 60kPa		
					2.50					
				D	3.00	increasing silt content, becoming brown			slight increase in penetration moisture content = 54%	
						Borehole BH3 terminated @ 3.0m				
					3.50					
					4.00					

## Enclosure 1 Proposal Documentation



## Geotechnical Consultants

PO Box 522 Prospect TAS 7250

Unit 24, 16-18 Goodman Court, Invermay TAS

T (03) 6326 5001 F (03) 6326 5003

# ENGINEERING BOREHOLE LOG

Borehole no. BH4

Sheet no. 1 of 1

Job no. GL15252B

Client : Peter & Jan Bush						Date : 2/09/2015				
Project : Wastewater Assessment						Logged By : SG/ MS				
Location : 50 Tippetts Road, Mount Hicks										
Drill model :		Hand Auger		Easting:	Inclination: -90°	RL Surface :				
Hole diameter :		80mm		Northing:	Bearing: -	Datum :				
Method	Support	Penetration	Water	Notes Samples Tests	Depth (m)	Graphic log Classification Symbol	Material Description	Moisture condition	Consistency density, index	Structure, additional observations
HA	N			DCP, 1			TOPSOIL - Clayey Silt, low plasticity, brown	M	F	
				6						
				4						
				5						
				6	0.50	ML	CLAYEY SILT - medium plasticity, brown	M	St	V = 95kPa
				6						
				6						
				7						
				5		MH	CLAYEY SILT - high plasticity brown/ grey, trace gravel/ cobble	M	St	
				7	1.00					
				12						
				8						
				10						
				11						
				10	1.50					
										V = refusal
					2.00		Borehole BH4 refusal @ 1.8m on inferred cobble/ boulder			
					2.50					
					3.00					
					3.50					
					4.00					



# **GEOTON** Pty Ltd

## **Borehole Log Explanation Sheet**

### Method

TERM	Description
AS	Auger Screwing*
AD	Auger Drilling*
RR	Roller / Tricone
W	Washbore
CT	Cable Tool
HA	Hand Auger
DT	Diatube
B	Blank Bit
V	V Bit
T	TC Bit

\* Bit shown by suffix e.g. ADT

### Support

TERM	Description
M	Mud
N	Nil
C	Casing

### Notes, samples, tests

TERM	Description
U <sub>50</sub>	Undisturbed sample 50 mm diameter
U <sub>63</sub>	Undisturbed sample 63 mm diameter
D	Disturbed sample
N	Standard Penetration Test (SPT)
N*	SPT – sample recovered
N <sub>c</sub>	SPT with solid cone
V	Vane Shear
PP	Pocket Penetrometer
P	Pressumeter
B <sub>s</sub>	Bulk sample
E	Environmental Sample
R	Refusal

### Penetration

1	2	3	4	
				No resistance ranging to refusal

### Water

Symbol	Description
	Water inflow
	Water outflow
	17/3/08 water on date shown

### Classification symbols and soil description

Based on unified classification system
--

### Moisture

TERM	Description
D	Dry
M	Moist
W	Wet
W <sub>p</sub>	Plastic Limit
W <sub>L</sub>	Liquid Limit

### Consistency/Density index

TERM	Description
VS	very soft
S	soft
F	firm
St	stiff
VSt	very stiff
H	hard
Fb	friable
VL	very loose
L	loose
MD	medium dense
D	dense
VD	Very dense



## Soil Description Explanation Sheet(1of 2)

### DEFINITION:

In engineering terms soil includes every type of uncemented or partially cemented inorganic or organic material found in the ground. In practice, if the material can be remoulded or disintegrated by hand in its field condition or in water it is described as a soil. Other materials are described using rock description terms.

### CLASSIFICATION SYMBOL & SOIL NAME

Soils are described in accordance with the Unified Classification System (UCS) as shown in the table on Sheet 2.

### PARTICLE SIZE DESCRIPTIVE TERMS

NAME	SUBDIVISION	SIZE
Boulders		>200 mm
Cobbles		63 mm to 200 mm
Gravel	coarse	20 mm to 63 mm
	medium	6 mm to 20 mm
	fine	2.36 mm to 6 mm
Sand	coarse	600 µm to 2.36 mm
	medium	200 µm to 600 µm
	Fine	75 µm to 200 µm

### MOISTURE CONDITION

**Dry** Looks and feels dry. Cohesive and cemented soils are hard, friable or powdery. Uncemented granular soils run freely through hands.

**Moist** Soil feels cool and darkened in colour. Cohesive soils can be moulded. Granular soils tend to cohere.

**Wet** As for moist but with free water forming on hands when handled.

### CONSISTENCY OF COHESIVE SOILS

TERM	UNDRAINED STRENGTH $s_u$ (kPa)	FIELD GUIDE
Very Soft	<12	A finger can be pushed well into the soil with little effort.
Soft	12 - 25	A finger can be pushed into the soil to about 25mm depth.
Firm	25 - 50	The soil can be indented about 5mm with the thumb, but not penetrated.
Stiff	50 - 100	The surface of the soil can be indented with the thumb, but not penetrated.
Very Stiff	100 - 200	The surface of the soil can be marked, but not indented with thumb pressure.
Hard	>200	The surface of the soil can be marked only with the thumbnail.
Friable	—	Crumbles or powders when scraped by thumbnail.

### DENSITY OF GRANULAR SOILS

TERM	DENSITY INDEX (%)
Very loose	Less than 15
Loose	15 - 35
Medium Dense	35 - 65
Dense	65 - 85
Very Dense	Greater than 85

### MINOR COMPONENTS

TERM	ASSESSMENT GUIDE	PROPORTION OF MINOR COMPONENT IN:
Trace of	Presence just detectable by feel or eye, but soil properties little or no different to general properties of primary component.	Coarse grained soils: <5% Fine grained soils: <15%
With some	Presence easily detected by feel or eye, soil properties little different to general properties of primary component.	Coarse grained soils: 5 - 12% Fine grained soils: 15 - 30%

### SOIL STRUCTURE

ZONING	CEMENTING
Layers	Continuous across exposure or sample. Weakly cemented Easily broken up by hand in air or water.
Lenses	Discontinuous layers of lenticular shape. Moderately cemented Effort is required to break up the soil by hand in air or water.
Pockets	Irregular inclusions of different material.

### GEOLOGICAL ORIGIN

#### WEATHERED IN PLACE SOILS

Extremely weathered material	Structure and fabric of parent rock visible.
Residual soil	Structure and fabric of parent rock not visible.

#### TRANSPORTED SOILS

Aeolian soil	Deposited by wind.
Alluvial soil	Deposited by streams and rivers.
Colluvial soil	Deposited on slopes (transported downslope by gravity).
Fill	Man made deposit. Fill may be significantly more variable between tested locations than naturally occurring soils
Lacustrine soil	Deposited by lakes.
Marine soil	Deposited in ocean basins, bays, beaches and estuaries.



## Soil Description Explanation Sheet (2 of 2)

### SOIL CLASSIFICATION INCLUDING IDENTIFICATION AND DESCRIPTION

FIELD IDENTIFICATION PROCEDURES (Excluding particles larger than 60 mm and basing fractions on estimated mass)					USC	PRIMARY NAME	
COARSE GRAINED SOILS More than 50% of materials less than 63 mm is larger than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to the naked eye)	GRAVELS More than half of coarse fraction is larger than 2.0 mm	CLEAN GRAVELS (Little or no fines)	Wide range in grain size and substantial amounts of all intermediate particle sizes.	GW	GRAVEL	
				Predominantly one size or a range of sizes with more intermediate sizes missing.	GP	GRAVEL	
			GRAVELS WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML below)	GM	SILTY GRAVEL	
				Plastic fines (for identification procedures see CL below)	GC	CLAYEY GRAVEL	
		SANDS More than half of coarse fraction is smaller than 2.0 mm	CLEAN SANDS (Little or no fines)	Wide range in grain sizes and substantial amounts of all intermediate sizes missing	SW	SAND	
				Predominantly one size or a range of sizes with some intermediate sizes missing.	SP	SAND	
			SANDS WITH FINES (Appreciable amount of fines)	Non-plastic fines (for identification procedures see ML below).	SM	SILTY SAND	
				Plastic fines (for identification procedures see CL below).	SC	CLAYEY SAND	
FINE GRAINED SOILS More than 50% of Material less than 63 mm is smaller than 0.075 mm	(A 0.075 mm particle is about the smallest particle visible to the naked eye)	IDENTIFICATION PROCEDURES ON FRACTIONS <0.2 mm.					
		SILTS & CLAYS Liquid limit less than 50	DRY STRENGTH	DILATANCY	TOUGHNESS		
			None to Low	Quick to slow	None	ML	SILT
			Medium to High	None	Medium	CL	CLAY
			Low to medium	Slow to very slow	Low	OL	ORGANIC SILT
		SILTS & CLAYS Liquid limit greater than 50	Low to medium	Slow to very slow	Low to medium	MH	SILT
			High	None	High	CH	CLAY
			Medium to High	None	Low to medium	OH	ORGANIC CLAY
HIGHLY ORGANIC SOILS		Readily identified by colour, odour, spongy feel and frequently by fibrous texture.			Pt	PEAT	
● Low plasticity – Liquid Limit WL less than 35%. ● Medium plasticity – WL between 35% and 50%.							

• Low plasticity – Liquid Limit WL less than 35%. • Medium plasticity – WL between 35% and 50%.

### COMMON DEFECTS IN SOIL

TERM	DEFINITION	DIAGRAM	TERM	DEFINITION	DIAGRAM
PARTING	A surface or crack across which the soil has little or no tensile strength. Parallel or sub parallel to layering (eg bedding). May be open or closed.		SOFTENED ZONE	A zone in clayey soil, usually adjacent to a defect in which the soil has a higher moisture content than elsewhere.	
JOINT	A surface or crack across which the soil has little or no tensile strength but which is not parallel or sub parallel to layering. May be open or closed. The term 'fissure' may be used for irregular joints <0.2 m in length.		TUBE	Tubular cavity. May occur singly or as one of a large number of separate or inter-connected tubes. Walls often coated with clay or strengthened by denser packing of grains. May contain organic matter	
SHEARED ZONE	Zone in clayey soil with roughly parallel near planar, curved or undulating boundaries containing closely spaced, smooth or slickensided, curved intersecting joints which divide the mass into lenticular or wedge shaped blocks.		TUBE CAST	Roughly cylindrical elongated body of soil different from the soil mass in which it occurs. In some cases the soil which makes up the tube cast is cemented.	
SHEARED SURFACE	A near planar curved or undulating, smooth, polished or slickensided surface in clayey soil. The polished or slickensided surface indicates that movement (in many cases very little) has occurred along the defect.		INFILLED SEAM	Sheet or wall like body of soil substance or mass with roughly planar to irregular near parallel boundaries which cuts through a soil mass. Formed by infilling of open joints.	

## Appendix B

### Certificate Forms



## LOADING CERTIFICATE

To: <b>MS ANNETTE ELLIS</b>	Owner /Agent	Certificate Ref: AS/NZS 1547:2012 Section 7.4.2
<b>2 Magnet Court</b>	Address	
<b>WARATAH TAS</b>	Suburb/postcode	

**7321**

### Details of work:

Address:	<b>50 Tippetts Road</b>	Lot No:	<b>1</b>
	<b>Mount Hicks TAS</b>	Certificate of title No:	<b>133988</b>
	<b>7325</b>		
The work related to this certificate:	On-site domestic-wastewater management	(description of the work or part work being certified)	

### Certificate details:

In issuing this certificate the following matters are relevant –

Documents:	Report GL15252Bc dated 1/2/2016 Site Plan AES Sections AES Design Calculator
Relevant calculations:	Contained in the above
References:	AS/NZS1547:2012 On-site domestic-wastewater management

### Substance of Certificate:

This certificate sets out the design criteria and the limitations associated with use of the system.

#### Wastewater Characteristics

Population equivalent used for this assessment	= 4
Wastewater volume (L/day) used for this assessment	= 480 (120 Litres per person)
Approximate blackwater volume (L/day)	= 200
Approximate greywater volume (L/day)	= 280

#### Soil Characteristics/Design Criteria

Texture (Table E4 from AS/NZS 1547)	= Clayey Silt
Soil category (Table E1 from AS/NZS 1547)	= 4
Soil structure (Table E4 from AS/NZS 1547)	= Weakly Structured
Indicative permeability (Table 5.1 from AS/NZS 1547)	= 0.12-0.5m/day.
Adopted permeability	= 0.15m/day
Adopted Design Loading Rate	= 15mm/day (secondary)
Soil thickness for disposal	= >2.0m
Minimum depth (m) to water	= >2.0m

**Dimensions for On-Site Treatment System**

*Disposal and treatment methods* = Septic tank

*Site modification and specific design* = EAS System

*Primary disposal area required* = 32m<sup>2</sup>

*Reserve disposal area required* = 32m<sup>2</sup>

*Location and use of Reserve area* = Reserve area located upslope from the proposed disposal area.

*Is there sufficient area available on site for disposal (including reserve)* = Yes

**Notes**

*The purpose of the reserve area is to allow for future extension of the land application system to allow a factor of safety against unforeseen malfunction or failure, perhaps following increased household occupancy or inadvertent misuse of the system.*

*The land application area may be reduced to account for flow reductions by water-saving devices, provided the organic loading rate is not higher than it would have been without the flow reduction.*

**Allowable Variation from Design Flow**

Based on a septic tank capacity of 3000L and wastewater design volume of 480L/day the allowable variation from design flow (peak loading events) would be an additional 520L/day (Total flow of 1000L/day as per table J1 of AS/NZS 1547:2012).

**System Limitations**

*Consequences of overloading the system:*

Overloading the system can result in failure of the septic tank and land application system. This is a serious health and environmental hazard and can lead to any one or more of the following: Spread of infectious disease; Breeding of mosquitoes and attraction of flies and rodents; Nuisance and unpleasantness; Pollution of waterways; Contamination of bores, wells and groundwater; and alteration to local ecology.

*Consequences of under loading the system:*

Under loading the system may result in the bacteria to stop working and system failure.

**Operation Requirements**

Refer to Section T5.2.1 of AS/NZS 1547:2012 for additional requirements.

For on-site system to work well the following is required:

- Reduce sludge building up through scraping all dishes to remove fats/grease; don't use a food waste disposal unit; and don't put sanitary napkins into the system.
- To keep bacteria working in the septic tank use biodegradable soaps; use a low phosphorous detergent; don't use powerful bleaches and disinfectants; and don't put chemicals or paint down the drain.
- Conservation of water will reduce the volume of effluent requiring disposal to the land application area, make it last longer and improve its performance.

**Maintenance Requirements**

Refer to Section T5.2.2 of AS/NZS 1547:2012 for additional requirements.

Maintenance of the system should include the following:

- Septic tanks must be inspected at least annually and pumped out regularly once the scum and sludge occupy two thirds of the tank volume. Typically a septic tank must be pumped out at least every 3 to 5 years or more frequently

**Enclosure 1 Proposal Documentation**

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depending on usage.

- Grease traps must be inspected at least quarterly and cleaned out regularly.
- Deep rooting trees or shrubs should not be grown over absorption trenches or pipes.
- Surface water diversion drains should be maintained upslope of and around the land application area and kept clean to reduce seepage of rainwater into the trenches.
- Maintain disposal area by maintaining plants and mowing grass to ensure that plants/grasses take up nutrients with maximum efficiency.
- Check disposal area for blockages such as wet spots and uneven grass colour.

**I certify the matters described in this certificate.**

	<i>Signed:</i>	<i>Date:</i>	<i>Certificate No.</i>
Certifier:		1/2/2016	GL15252Bc



## CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94  
Section 106  
Section 129  
Section 155

Form **35**

To: **MS ANNETTE ELLIS** Owner name  
**2 Magnet Court** Address  
**WARATAH TAS** **7321** Suburb/postcode

### Designer details:

Name: **Tony Barriera** Category: **Civil Engineer**  
**Geoton Pty Ltd** Hydraulic - Domestic  
Business name: **P O Box 522** Phone No: **03 6326 5001**  
Business address: **Prospect TAS** **7250** Fax No:  
Licence No: **IEAust 471929, CC6220 P** Email address: **tbarriera@geoton.com.au**

### Details of the proposed work:

Owner/Applicant **MS ANNETTE ELLIS** Designer's project reference No. **GL15252Bc**  
Address: **50 Tippetts Road** Lot No: **133988/1**  
**Mount Hicks TAS** **7325**

Type of work: Building work ☐ Plumbing work ☒ (X all applicable)

### Description of work:

New building  
on-site wastewater management system

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

### Description of the Design Work (Scope, limitations or exclusions): (X all applicable certificates)

Certificate Type:	Certificate	Responsible Practitioner
<input type="checkbox"/>	Building design	Architect or Building Designer
<input type="checkbox"/>	Structural design	Engineer or Civil Designer
<input type="checkbox"/>	Fire Safety design	Fire Engineer
<input type="checkbox"/>	Civil design	Civil Engineer or Civil Designer
<input checked="" type="checkbox"/>	Hydraulic design	Building Services Designer
<input type="checkbox"/>	Fire service design	Building Services Designer
<input type="checkbox"/>	Electrical design	Building Services Designer
<input type="checkbox"/>	Mechanical design	Building Service Designer
<input type="checkbox"/>	Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
<input type="checkbox"/>	Other (specify)	

Deemed-to-Satisfy: ☒ Performance Solution: ☐ (X the appropriate box)

Other details:  
**All design documents provided in Report GL15252Bc, dated 1/2/2016**

**Enclosure 1 Proposal Documentation**

**Design documents provided:**

The following documents are provided with this Certificate –

*Document description:*

Drawing numbers:	Prepared by:	Date:
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

**Standards, codes or guidelines relied on in design process:**

All design documents are contained within report  
AS/NZS1547:2012 On-site domestic-wastewater management


**Any other relevant documentation:**

**Attribution as designer:**

I Tony Barriera of Geoton Pty Ltd am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Tony Barriera		<b>1/2/2016</b>
Licence No:	CC6220P		

**Enclosure 1 Proposal Documentation**

**Assessment of Certifiable Works: (TasWater)**

**Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.**

**If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.**

**TasWater must then be contacted to determine if the proposed works are Certifiable Works.**

**I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:**

- ☐ The works will not increase the demand for water supplied by TasWater
- ☐ The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- ☐ The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- ☐ The works will not damage or interfere with TasWater's works
- ☐ The works will not adversely affect TasWater's operations
- ☐ The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- ☐ I have checked the LISTMap to confirm the location of TasWater infrastructure
- ☐ If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

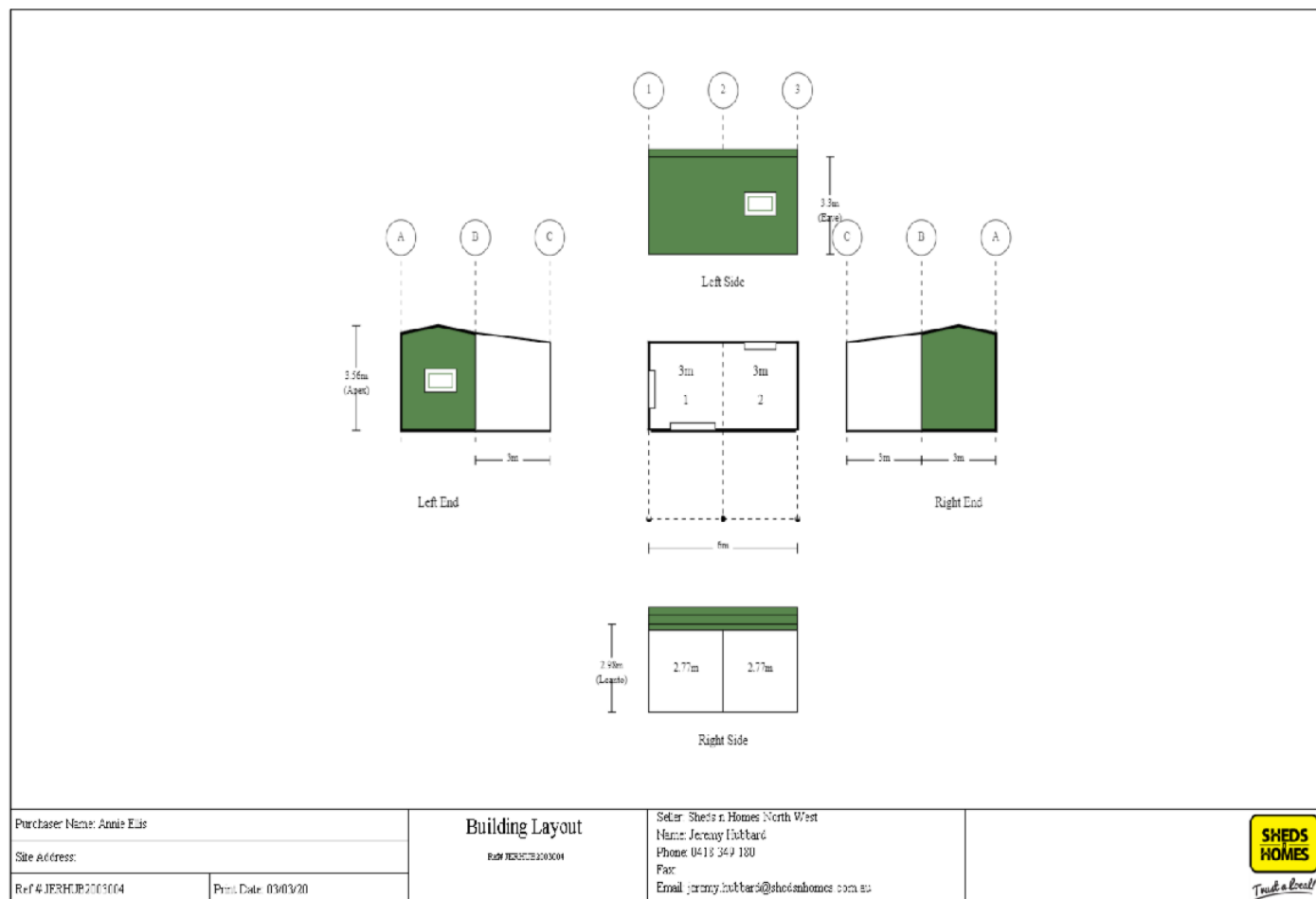
**Certification:**

I Tony Barriera of Geoton Pty Ltd being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.


Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: [www.taswater.com.au](http://www.taswater.com.au)

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Tony Barriera		1/2/2016

Waratah-Wynyard Council – Attachments – Ordinary Meeting of Council – 15 February 2021 – Page 81



*Proposed Residence  
A. Ellis  
50 Tippetts Road  
Mount Hicks  
Tasmania 7325*

<b>ABEL DRAFTING SERVICES</b> PTY. LTD.		
33 GOLDIE STREET WYNYARD TAS. 7325 ABN 78 009 572 749 CC 1070 Ian Ray		
PH. (03) 6442 3411		
Plot Date: 28/9/20	COPYRIGHT. ©	DRAWN Mar Schrammeyer
Project Date: 15/7/20		PROJECT NUMBER 20081

Proposed Residence  
A. Ellis  
50 Tippetts Road  
Mount Hicks  
Tasmania 7325

Drawing Schedule			
Sheet No.	Sheet Name	Issue Date	Revision
1	Drawing Schedule & Project Information	28/9/20	
2	General Notes	28/9/20	
3	NCC Compliance Notes	28/9/20	
4	Site Plan Existing	28/9/20	
5	Site Plan Proposed	28/9/20	
6	Floor Plan & Elevations Existing	28/9/20	
7	Floor Plan Proposed	28/9/20	
8	Elevations Proposed	28/9/20	
9	Drainage Plan	28/9/20	
10	Shadow Diagrams	28/9/20	
11	BAL 12.5 Notes	28/9/20	
11 Sheets			

Project Information	
Property ID	1985104
Title Reference No	133988/1
Area	5978 m2
Site Zoning	Rural Living
Site Coverage	0.7%
Building Class	1
Category of Works	3
Category of Plumbing Works	3
Soil Classification	H1
Wind Classification	N3
Climate Zone	7
Bushfire (BAL) Rating	BAL 12.5
Alpine Area	-
Corrosion Environment	Moderate
Other Documents Schedule	
Shed Supplier	Sheds'n'Homes
Site Hazards	Nil observed
Energy Efficiency	-
Energy Efficiency Form 55	-
Soil Classification	-
Wind Classification	
Structural Form 55	
Wastewater Report	
Title	Supplied
Geo-tech Report	
Building Designer Report	
Bushfire (BAL) Assessment	
Floor Area	
Existing Laundry/Bathroom	7.8 m2
Proposed Shed	36 m2
Total	43.8 m2

Drawing Schedule & Project Information

Proposed Residence  
A. Ellis  
50 Tippetts Road  
Mount Hicks

**ABEL DRAFTING SERVICES** PTY. LTD.  
33 GOLDIE STREET WYNYARD TAS. 7325 PH. (03) 6442 3411  
ABN 78 009 572 749  
CC 1070 Ian Ray



Plot Date: 28/9/20  
Project Date: 15/7/20

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DRAWN  
Mar schrammeyer  
PROJECT NUMBER  
20081

1/11



#### General Notes

1. It is the builders responsibility to verify all dimensions, levels & existing conditions on site and ensure that any discrepancies &/or omissions in these documents, are resolved prior to commencement of any works. The builder shall incur all costs as a result of not verifying the above mentioned.
2. Do not scale from drawings. Confirm all dimensions on site prior to commencement of works
3. NCC refers to the National Construction Code.
4. All sewage & stormwater to discharge into existing drains as directed by the local municipal council.
5. Smoke detectors are to be installed in accordance with AS3786.
6. Balustrade required when any level is more than 1000 above the surface beneath and to conform to NCC requirements i.e. max. vertical & horizontal spacing of all members to be no greater than 125 mm.
7. Stairs to have min. step 250 & max. rise of 190, provide handrail 865 above nosing each stair one side min.
8. These drawings shall be read in conjunction with all architectural and other consultant's drawings and specifications, and with such other written instructions as may be issued over the course of the contract.
9. During construction the structure shall be maintained in a stable condition and no part shall be overstressed. the builder shall be responsible for any damage to the works during construction.
10. All workmanship and materials shall be in accordance with the requirements of the current editions of the Australian Standards (AS) codes and the by-laws and ordinances of the relevant building authority.
11. The sections on these drawings are intended to give the structural details only, and architectural details are illustrative only.
12. All slabs and footings are to be inspected by the building surveyor prior to the pouring of concrete.  
Give 48 hours notice to the building surveyor for all required inspections.
13. Brittle floor coverings such as ceramic tiles should be laid using an approved flexible adhesive system to control the effect of shrinkage cracking.  
A minimum period of three months drying of the concrete is usually required before the placement of brittle floor coverings.
14. Ensure all wet areas are waterproofed in accordance with AS3740.
15. The location of services indicated on these drawings are indicative only and all service locations should be confirmed prior to starting on site.
16. Engineered products e.g. trusses, laminated beams, cladding systems etc. to be installed as per manufacturers specifications.

#### Site Preparation Notes

1. All site preparation to comply with the NCC.
2. All topsoil, organic and deleterious material is to be stripped from the building site.
3. The site is to be cut and filled to form a level building platform. batters around the house should be designed to withstand weather erosion.
4. The owners attention should be drawn to Appendix B of AS2870 "performance requirements and foundation maintenance" on completion of the job.
5. Excavation shall not extend below a line dipping at 45° for clay or and away from the nearest underside corner of any existing footings.
6. Fill material beneath slab is to be compacted in accordance with AS2870. Piering is required where this fill material is greater than 400mm.  
Not more than 300mm for sand material or 400mm compacted in layers  
Not more than 150mm for other material.
7. The slab is to be entirely underlaid with a 0.2mm polyethylene vapour barrier with all joints adequately lapped and taped at penetrations.
8. The builder shall provide protection to adjoining properties & buildings in accordance with all building regulations.
9. All neighbouring building locations are approximate only. If further information is required consult surveyor.
10. Level information provided on these drawings is limited only. Further detail if required should be obtained from a surveyor.

#### Earthworks

1. Earthwork construction shall comply with guidelines set out in AS3798.
2. Cut and fill shall comply with NCC 3.1.1.
3. Excavations and service trenches shall comply with the following guidelines unless otherwise approved by the design engineer.
4. Selected fill shall be approved natural material, gravel, decomposed or broken rock, free from clay lumps and organic matter.
5. The area of works shall be stripped of all topsoil and filled in 150mm compacted layers to 95%MDD, sand blinding layer directly below concrete shall be compacted by vibrating plate or flooding to 95%MDD.
6. Ensure area of excavation is properly drained from the time of excavation to ensure no ponding of water. Install drains as required.
7. Embankments that are left exposed at the end of construction works must be stabilised by vegetation or similar works to prevent soil erosion.

#### Footings & Foundation Notes

1. Footings have been designed for an allowable soil bearing capacity of 100 kpa.
2. The assumed founding levels of the footings are to be as indicated on the drawings.  
Excavation shall continue until the required bearing capacity is found.  
The over-excavation shall be back-filled with a mass concrete mix to the approval of the engineer.
3. All walls and columns shall be concentric with supporting footing unless noted otherwise on drawings.
4. Service penetrations are permitted through the middle third of the depth of the footing/edge & stiffening beams. The effect of other footing penetrations shall be taken into account by the provision of extra concrete depth or reinforcement.

#### Plumbing Notes

1. Generally plumbing works shall be carried out by plumbers who have necessary licenses and registrations required by the governing authority and who are qualified to provide the required certificate of compliance.
2. Cold water: From meter to house use 25mm class 12 polyethylene. Inside house use 20mm Rehau class 'B' or PB with 12mm class 'B' Rehau or PB branch lines.
3. Hot water: From heater use 20mm Rehau class 'B' with 15mm Rehau branch lines to fixtures. Install 'RMC' or equivalent tempering valve set to 50° C.
4. Legend of outlet diameters:  
Trough - 50mm  
Sink - 50mm  
Bath - 40mm  
Basin - 40mm  
Shower - 50mm
5. Taps, fittings & hot water unit refer to owners requirements.
6. Where the works requirements provide for the installation of a heating appliance that requires a flue, the flue must be installed in accordance with the NCC.

#### Steelwork Notes

1. All workmanship and materials shall be in accordance with AS 4100 and except where varied by the contract documents.
2. Unless otherwise noted, all steel shall be in accordance with:  
AS 3679.1 grade 300 for rolled sections.  
AS 1163 grade 350 for rhs sections.  
AS 1163 grade 350 for chs sections.  
AS 3378 grade 350 for all plate.  
AS 3679.1 grade 350 for all flat.  
AS 1397 grade 450 for 1.5, 1.9, 2.4 and 3.0 bmt of cold-formed steel sections.
3. The builder shall prepare workshop drawings and shall submit three copies of each drawing for conditional approval. fabrication shall not commence until this approval has been given.
4. Unless noted otherwise all welds shall be 6mm continuous fillet welds and all gusset plates shall be 10mm thick.
5. Butt welds where indicated in the drawings are to be complete penetration butt welds. As defined in AS 1554.
6. Unless noted otherwise all bolts shall be 20 dia. commercial grade conforming to AS 1111 with a minimum of 2 bolts per connection. high strength (h.s.) bolts shall conform to AS 1252 and shall be installed in accordance with AS 4100.
7. All bolts for purlins and girts shall be M12-4.6 (commercial grade). All bolts, nuts and washers are to be galvanised.
8. The builder shall provide all cleats and holes for fixing steel to steel and timber to steel as required by engineering and architectural drawings whether or not shown.
9. The builder is to be present when all holding down bolts are installed to ensure they are not displaced during concrete placement.
10. The builder is to make good and/or repair all damaged surfaces during performance of the work.
11. Unless noted otherwise, the roof structure has been designed for normal roof loads only and does not allow any extraneous loads such as hoists, monorails etc.
12. Surfaces of existing material, which are to be strengthened, repaired, or welded shall be cleaned of dirt, rust, and other foreign matter except adherent surface protection. The portions of such surfaces that are to be welded shall be cleaned thoroughly of all foreign matter, including paint film, for a distance of 50mm from each side of the outside lines of the welds. the welding sequence shall be chosen so as to minimize distortion of the member and ensure that its straightness remains within the appropriate straightness limits of clauses in 14.4 of AS4100-1998.

#### General Notes

Proposed Residence  
A. Ellis  
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Mount Hicks

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# **National Construction Code (NCC) Compliance Notes**

## **1. FIRE SAFETY**

Generally to be in accordance with NCC 3.7.  
Fire separation to be in accordance with NCC 3.7.1. External walls and gable ends constructed within 90mm of boundary are to extend to underside of non combustible roofing/eaves and are to be constructed of a masonry skin 90mm thick with an FRL of 60/60/60.  
Sarking to have a flammability index less than 5.  
Roof lights not to be placed closer than 900mm from boundary.  
Smoke alarm installation to be in accordance with NCC 3.7.2. Locations indicated on floor plan.  
Installation locations: Ceilings - 300mm away from wall junction.  
Cathedral ceilings - 500mm down from apex.  
Walls - 300mm down from ceiling junction.  
Smoke alarms shall be connected to mains power if available, and interconnected if there is more than one alarm, in accordance with N.C.C. 3.7.2  
Heating appliances generally to be in compliance with NCC 3.7.3 and AS 2918.  
Fireplace - extend hearth 400mm beyond unit.  
Freestanding appliance to be 1200mm from combustible wall surface. 50mm from masonry wall.  
Heat shield - 90mm masonry with 25mm air gap to combustible wall, extend 600mm above unit.  
Flue installation to NCC 3.7.3.4.  
Top of chimney/flue to terminate 300mm above horizontal plane 3600mm away from roof.  
Construction in Bush Fire Area to be in accordance with NCC 3.7.4. and AS 3959-2009

## **2. HEALTH AND AMENITY**

Ceiling heights to be in accordance with NCC 3.8.2. Refer to drawing.  
Door of a fully enclosed sanitary compartment must open outwards, slide or be readily removable from the outside of the compartment unless there is 1200mm between the closet pan within the sanitary compartment and the nearest part of the doorway  
Condensation management generally in accordance with NCC 3.8.7.  
Flow rate and discharge of exhaust systems to comply with NCC 3.8.7.3  
25 L/s for a bathroom or sanitary compartment; and 40 L/s for a kitchen or laundry.  
Ventilation of roof spaces to comply with NCC 3.8.7.4  
Where an exhaust system covered by 3.8.7.3 discharges into a roof space, the roof space must be ventilated to outdoor air through evenly distributed openings.  
Openings must have a total unobstructed area of 1/300 of the respective ceiling area if the roof pitch is more than 22°, or 1/150 of the respective ceiling area if the roof pitch is not more than 22°. 30% of the total unobstructed area must be located not more than 900 mm below the ridge or highest point of the roof space, measured vertically, with the remaining required area provided by eave vents.

## **3. STAIR CONSTRUCTION**

Stairs to be generally in accordance with NCC 3.9.1.  
Maximum of 18 risers to each flight.  
Riser opening to be less than 125mm.  
Treads must have a slip-resistant finish or a suitable non-skid strip near the edge of the nosings.  
Riser - min. 115mm, max. 190mm.  
Tread - min. 240mm, max. 355mm.  
Balustrade/handrail generally in accordance with NCC 3.9.2.  
Balustrade/handrail required where area is not bounded by a wall or where level exceeds 1000mm above floor level or ground level.  
865mm high on stairs, measured from line of stair nosing.  
1000mm high above floor or landing.  
Openings between balusters/infill members to be constructed so as to not allow 125mm sphere to pass between members. Where floor level exceeds 4000mm above lower level, infill members between 150mm and 760mm above floor level to be constructed so as to restrict climbing.  
Ramps shall comply with the NCC Volume 1 part D 2.10 - Slope gradient shall not exceed 1:8 and have a non-slip surface.

## **4. SWIMMING POOLS**

Generally swimming pools and safety fences to be constructed in accordance with NCC 3.9.3. and AS 1926.1

## **5. ENERGY EFFICIENCY**

Generally to be in accordance with NCC 3.12.  
Climate Zone 7 applicable to Tasmania (Zone 8 applicable to alpine areas).

## **6. BUILDING FABRIC**

Generally in accordance with NCC 3.12.1.

## **7. BUILDING FABRIC INSULATION**

Insulation to be fitted to form a continuous barrier to roof/ceiling, walls and floors.

## **8. BUILDING MEMBRANE/WRAP**

Use only vapour permeable membranes tested to AS/NZS 4200.1:1994 with minimum specifications;  
Duty - light for walls, medium/heavy for roofs. Vapour barrier - low. Water barrier class - High. Emittance - Non-reflective. Flammability index - Low (less than 5).

## **9. BULK INSULATION**

To maintain thickness and position after installation.  
Continuous cover without voids except around services/fittings.

## **10. ROOF INSULATION**

Roof to comply with NCC 3.12.1.1a  
Roof lights to comply with NCC 3.12.1.2.

## **11. EXTERNAL WALLS**

External wall construction to comply with NCC 3.12.1.4 & AS 1684.2.

## **12. FLOORS**

Floor construction to comply with NCC 3.12.1.4.  
Concrete slab on ground with an in slab heating system to be insulated to R1.0 around vertical edge of slab perimeter.  
Ensure finished floor level is minimum 150mm above finished ground level.  
Joint support and bearing details to AS 1684.2.

## **13. GLAZING**

External generally in accordance with NCC 3.12.2 and AS1288.  
Internal generally in accordance with NCC 3.6.4 and AS 1288.

## **14. FLASHINGS**

Roof flashings in accordance with NCC 3.5.1.  
Wall flashings in accordance with NCC 3.5.3.

## **15. BUILDING SEALING**

Generally in accordance with NCC 3.12.3.  
Chimneys or flues to be fitted with operable or permanent seal to minimize air leakage.  
External windows and doors to habitable rooms/conditioned spaces to be fitted with air seal to restrict air infiltration.  
Exhaust fans to habitable rooms/conditioned spaces to be fitted with self closing damper or filter.  
Building envelope to be constructed to minimize air leakage. Construction joints and junctions of adjoining surfaces to be tight fitting and sealed by caulking, skirting, architraves and cornices.

## **16. AIR MOVEMENT**

Generally in accordance with NCC 3.12.4.

## **17. SERVICES**

Generally in accordance with NCC 3.12.5.  
Hot water supply system designed and installed in accordance with AS/NZS 3500.

## **18. ENERGY REPORT**

If energy report is provided as part of this documentation, then it shall take precedence over the above energy efficiency provisions.  
For residence construction these plans should be read in conjunction with the attached "First Rate Energy Report".

## **19. CONCRETE & REINFORCING**

Generally in accordance with NCC 3.2.3.  
Concrete must be manufactured to comply with AS 3600.  
Materials used for reinforcing must comply with AS 2870.  
Concrete must have a minimum strength at 28 days of 20MPa (denoted as N20 grade) for footings and 25MPa for slabs.  
Concrete to have a nominal 100mm slump, water must not be added to the mix to increase the slump to a value in excess of that specified.  
Concrete must have a 20mm maximum nominal aggregate size.  
Concrete slabs finish shall be polished.

## **20. MASONRY**

Generally in accordance with NCC 3.3.  
All masonry and masonry accessories to comply with AS 3700 & AS 4773.  
Brick ties to be: for 0-1km from marine environment, stainless steel (R4) sheet and wire ties; for 1-10kms from marine environment, stainless steel (R4) sheet ties, red CTA wire ties; for 10km+ from marine environment, galvanised Z600 (R2) sheet ties, red CTA wire ties.  
Brick mortar to be: for >1.0km to coast M3 cement, lime, sand (1:1:6);  
for <1.0km to coast M4 cement, lime, sand (1:0.5:4.5).  
Masonry bed and perpendicular joints to be nominal 10mm, raked joints to be max. 10mm deep.  
Wall ties and accessories embedded in masonry joints shall be built in as the construction proceeds.  
Cavities shall be free from mortar droppings or other materials that might bridge the cavity and allow transmission of moisture. Where ducts, sleeves or pipes are laid along or across a cavity construction shall be such that transmission of moisture is prevented.  
Weep holes @ 1200c/s.  
Brickwork walls etc. to be provided with flashings and damp proof course, appropriately located.

## **21. WET AREAS**

Generally in accordance with NCC 3.8.1.  
Building elements in wet areas must comply with AS 3740.  
Walls & ceiling Gyprock® Aquachek® plasterboard or similar.  
For definitions of shower area, vessel, wet area, waterproof and water resistant refer to NCC 3.8.1 definitions.  
Prefabricated products are to be installed to manufacturers specifications and in a manner to avoid distortions or cracking.  
Wet area floors must be installed so that water flows to the drain without ponding.

## **22. STEELWORK CORROSION PROTECTION**

All steelwork which satisfies NCC 3.4.4.4, defined environments, shall comply with NCC table 3.4.4.2.

## **23. GENERAL**

All other matters not specifically mentioned are to comply with the NCC.

## **NCC Compliance Notes**

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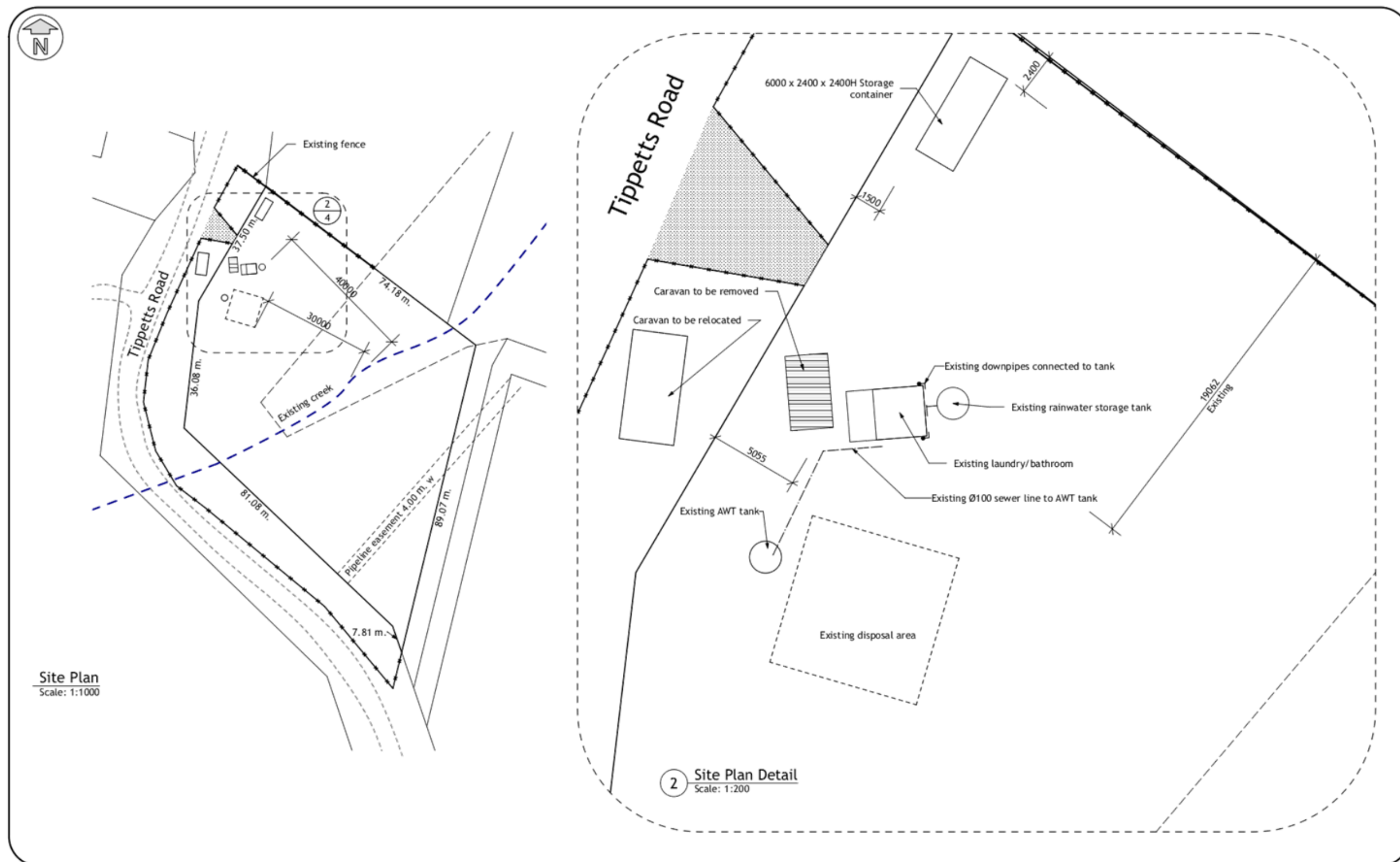
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Site Plan Existing

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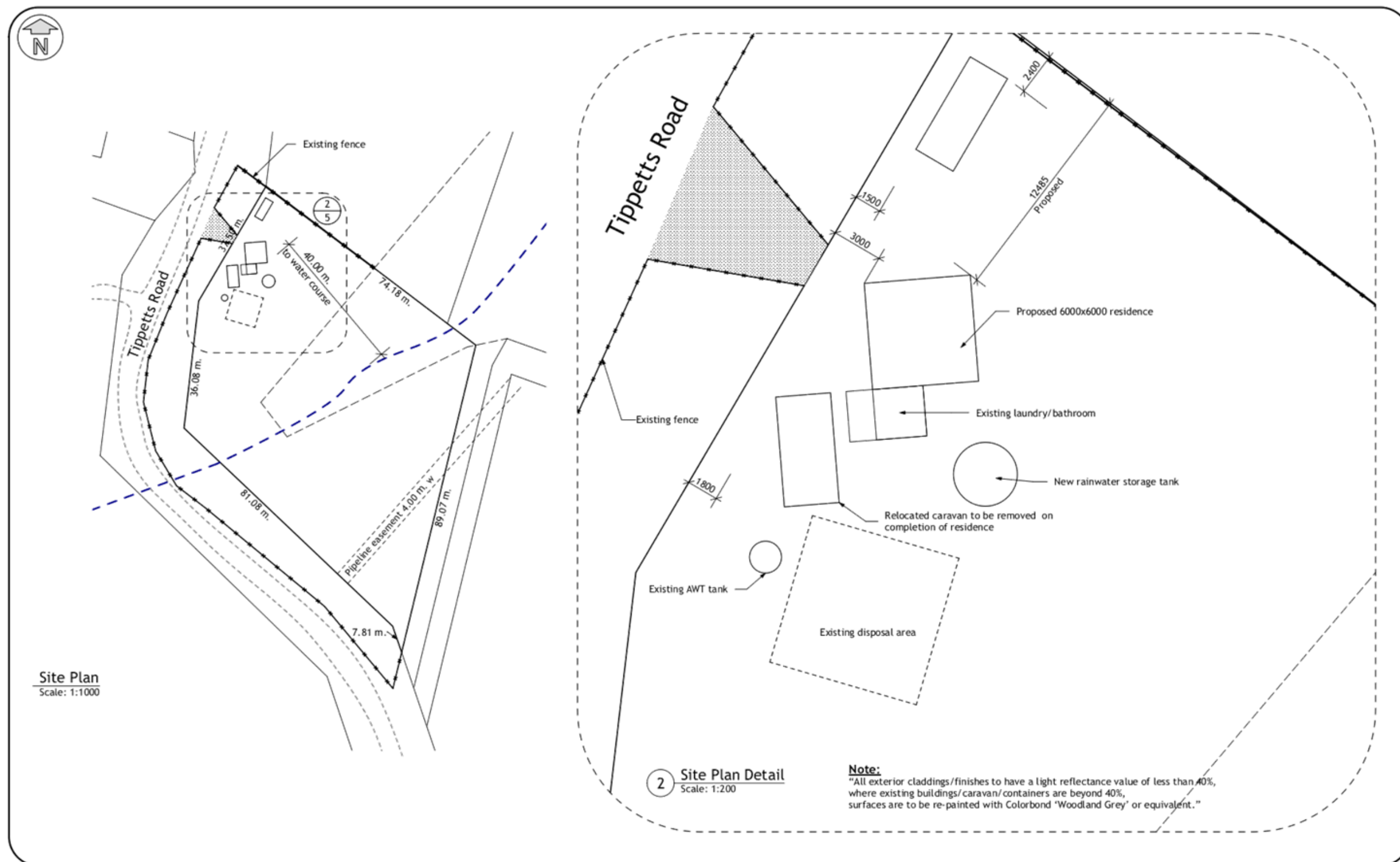


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Site Plan Proposed

Proposed Residence  
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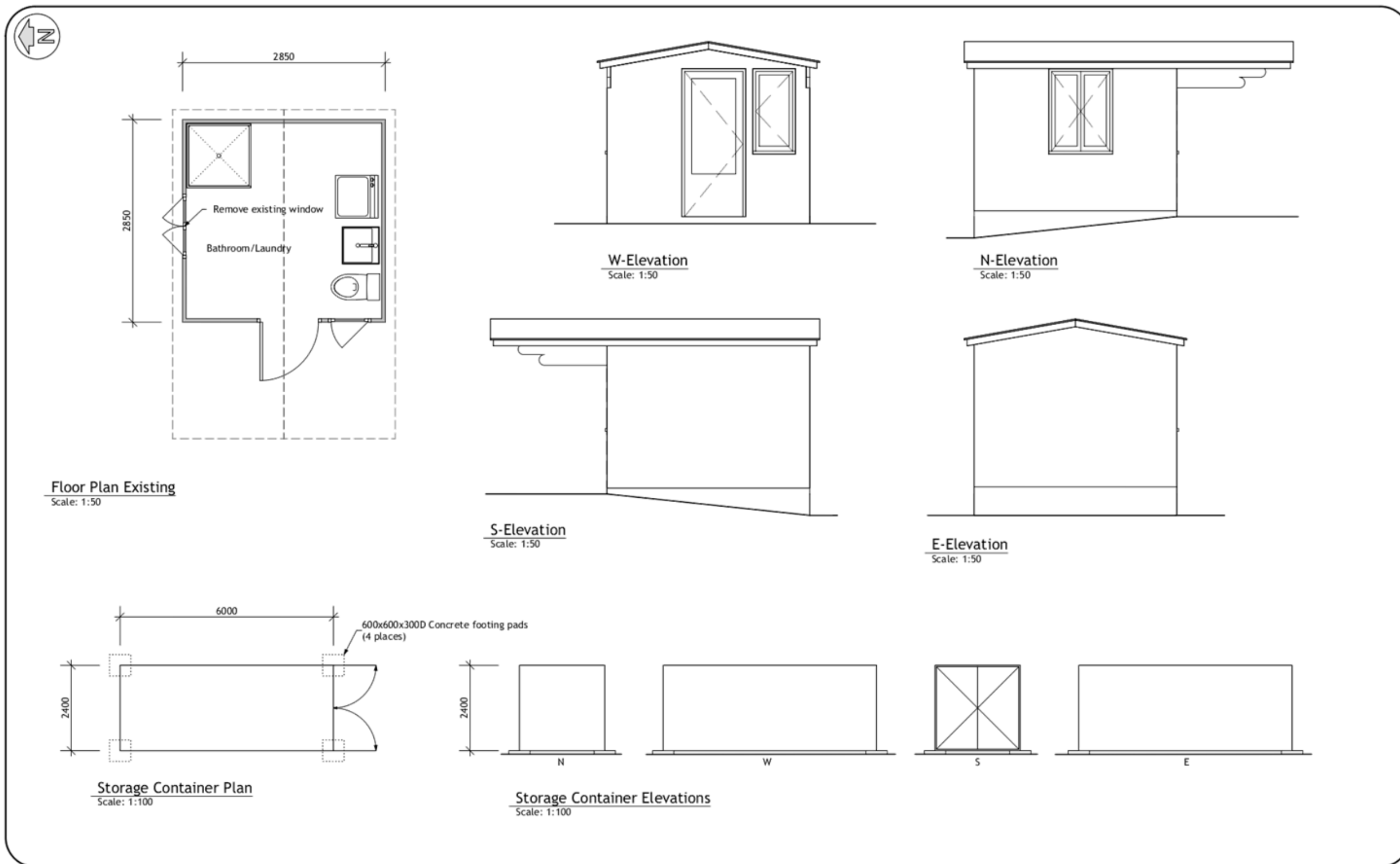
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Floor Plan & Elevations Existing

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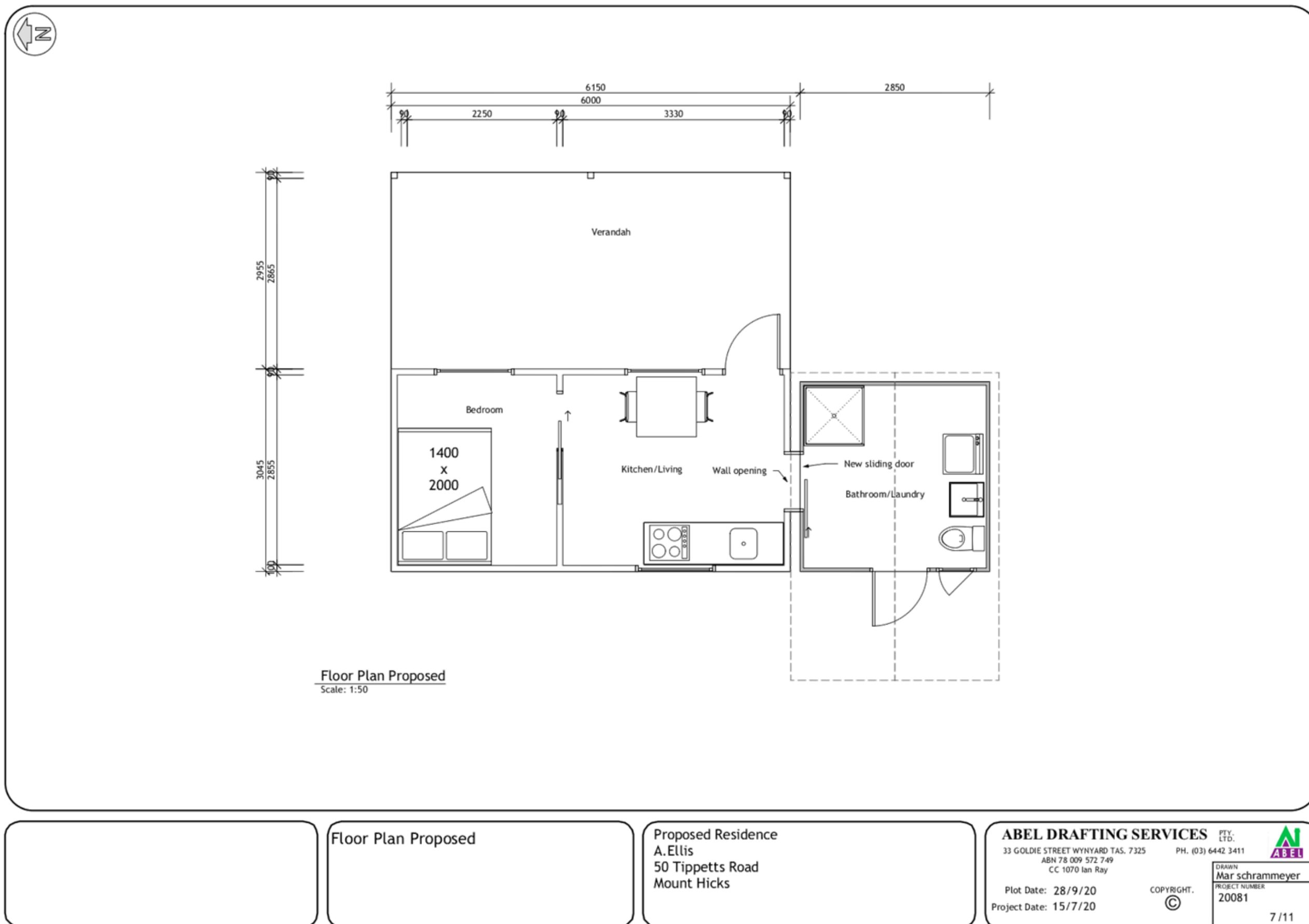
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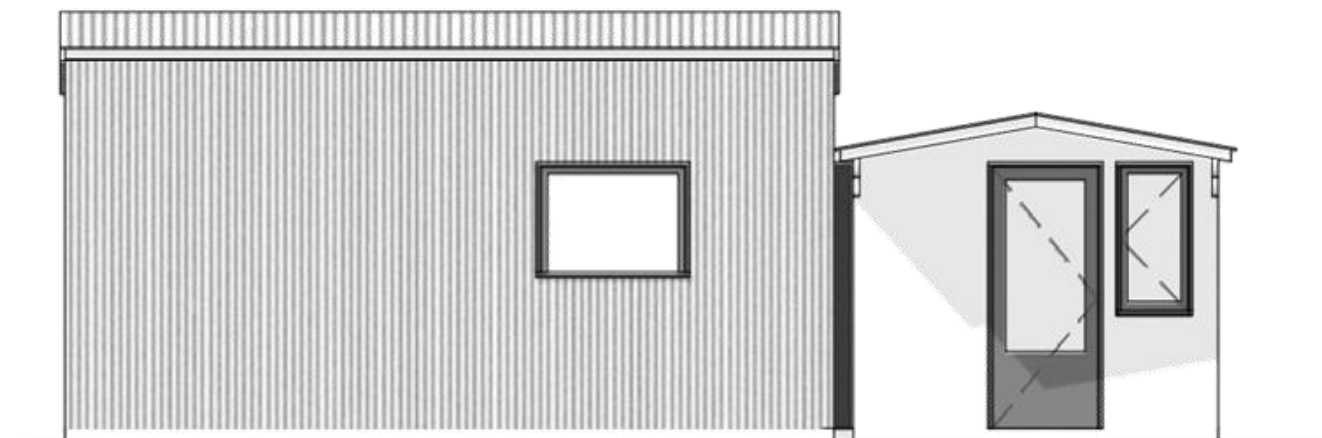
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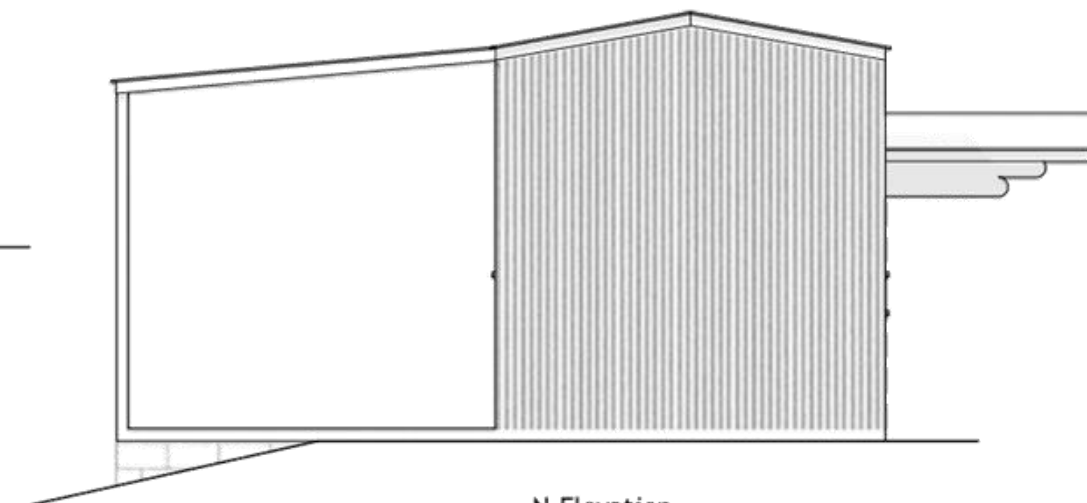
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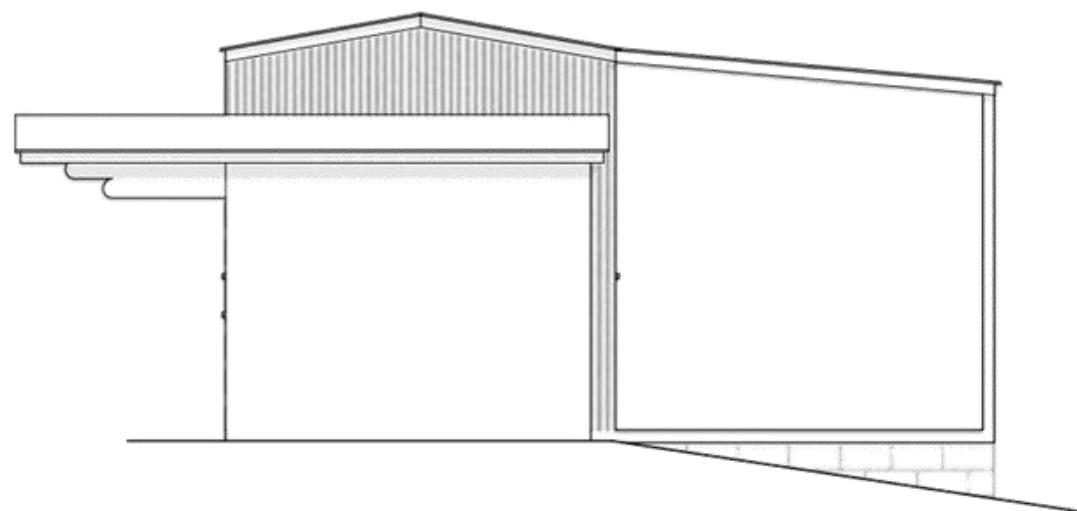




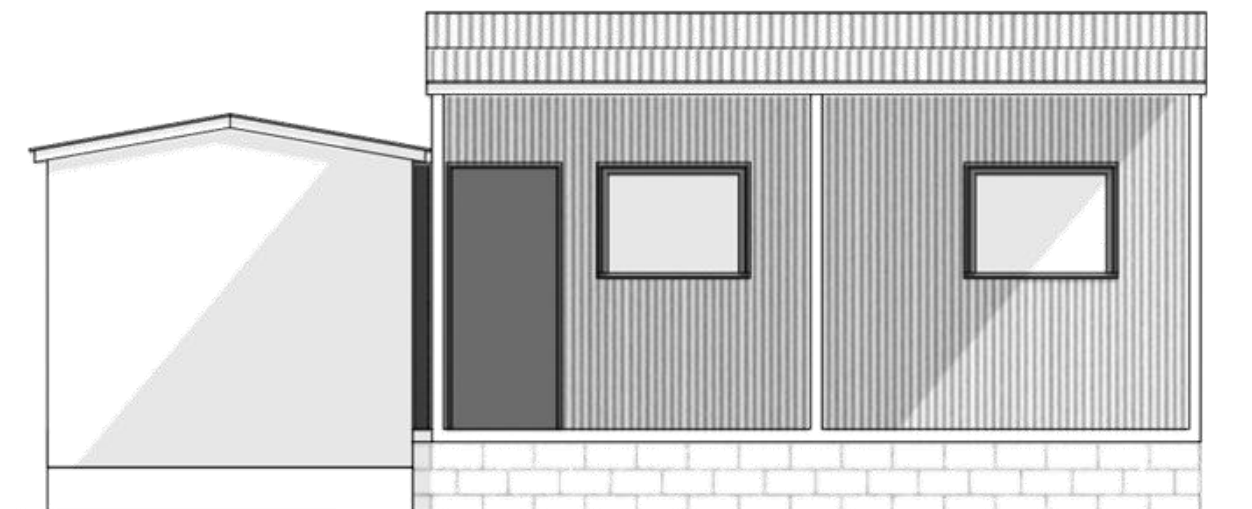
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N-Elevation  
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S-Elevation  
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E-Elevation  
Scale: 1:50

Elevations Proposed

Proposed Residence  
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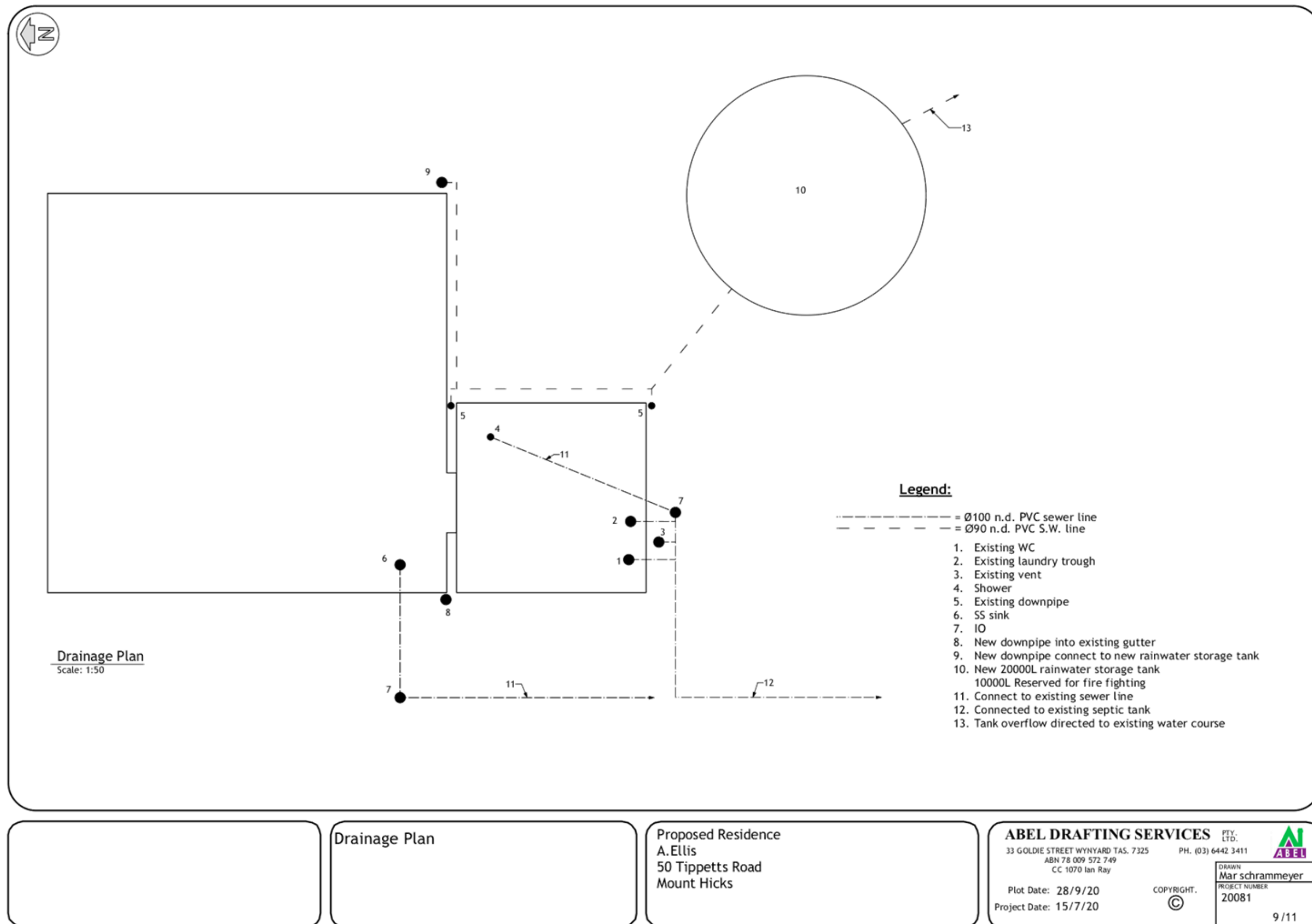
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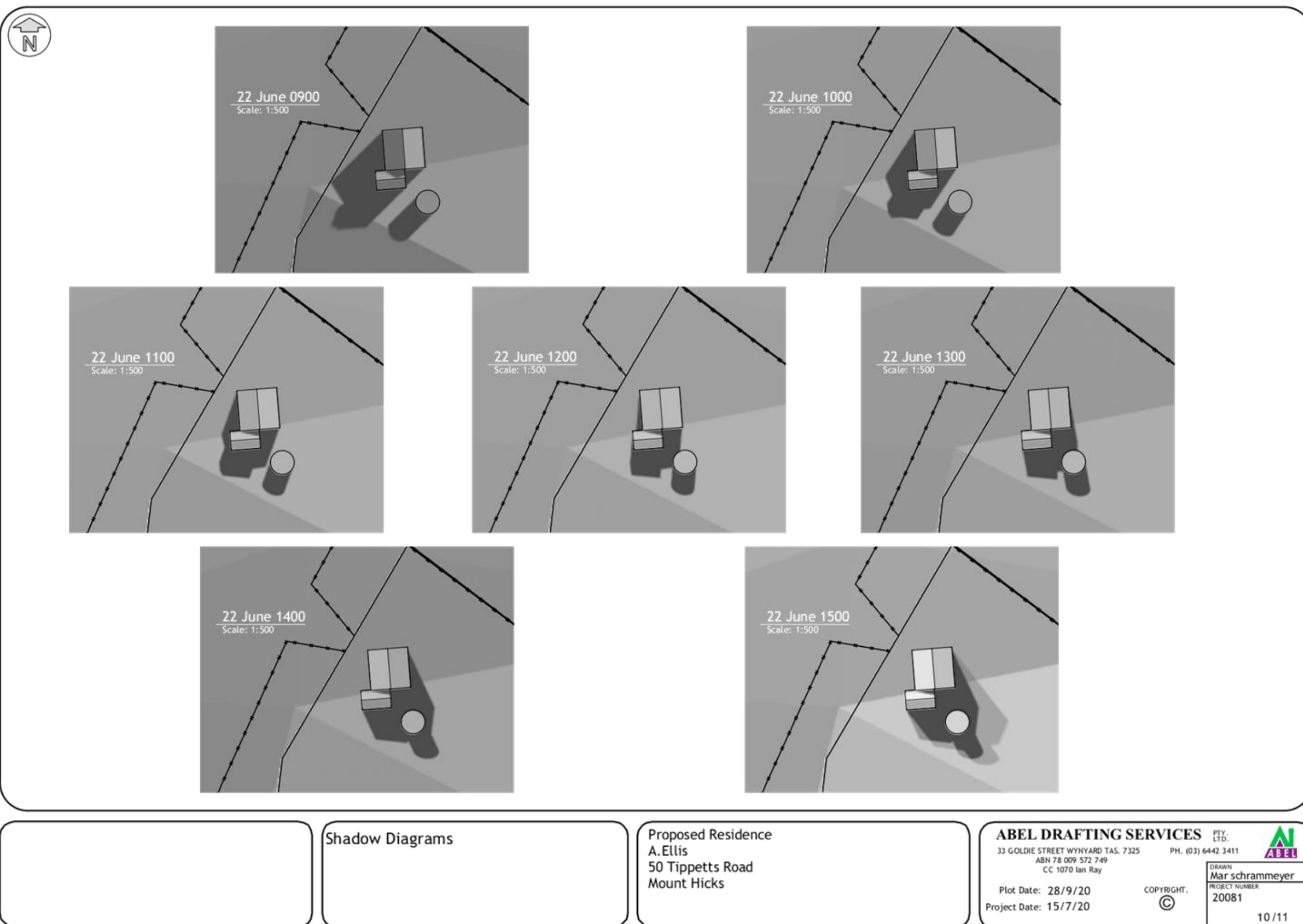
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A building assessed to require building construction to conform with a BAL rating of **BAL-12.5** should comply with the following requirements taken from the Australian Standard AS 3959-2018. The whole of the abovementioned standard should be adhered to but particularly the following clauses:  
(Referenced figures, clauses and appendices etc are located in AS 3959-2018)

### 3.10 SARKING

Where sarking is required in Sections 5 to 9, the flammability index shall not exceed five when tested to AS 1530.2.

### 5.1 GENERAL

A building assessed in Section 2 as being BAL—12.5 shall conform with Section 3 and Clauses 5.2 to 5.8. Any element of construction or system that satisfies the test criteria of AS 1530.8.1 may be used in lieu of the applicable requirements contained in Clauses 5.2 to 5.8 (see Clause 3.8). NOTE: BAL—12.5 is primarily concerned with protection from ember attack and radiant heat up to and including 12.5 kW/m<sup>2</sup> where the site is less than 100 m from the source of bushfire attack.

### 5.2 SUB-FLOOR SUPPORTS

This Standard does not provide construction requirements for subfloor support where the subfloor space is enclosed with—  
(a) a wall that conforms with Clause 5.4; or  
(b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or  
(c) a combination of items (a) and (b).  
NOTE: This requirement applies to the subject building only and not to verandas, decks, steps, ramps and landings (see Clause 5.7).

### 5.3 FLOORS

#### 5.3.1 General

This Standard does not provide construction requirements for concrete slabs on the ground.

#### 5.3.2 Elevated floors

##### 5.3.2.1 Enclosed subfloor space

This Standard does not provide construction requirements for elevated floors, including bearers, joists and flooring, where the subfloor space is enclosed with—

- (a) a wall that conforms with Clause 5.4; or
- (b) a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium; or
- (c) a combination of items (a) and (b) above.

##### 5.3.2.2 Unenclosed subfloor space

Where the subfloor space is unenclosed, the bearers, joists and flooring, less than 400 mm above finished ground level, shall be one of the following:

- (a) Materials that conform with the following:

- (i) Bearers and joists shall be—
  - (A) non-combustible; or
  - (B) bushfire-resisting timber (see Appendix F); or
  - (C) a combination of items (A) and (B).
- (ii) Flooring shall be—
  - (A) non-combustible; or
  - (B) bushfire-resisting timber (see Appendix F); or
  - (C) timber (other than bushfire-resisting timber), particleboard or plywood flooring where the underside is lined with sarking-type material or mineral wool insulation; or
  - (D) a combination of any of items (A), (B) or (C); or

- (b) A system conforming with AS 1530.8.1.

This Standard does not provide construction requirements for elements of elevated floors, including bearers, joists and flooring, if the underside of the element is 400 mm or more above finished ground level.

### 5.4 WALLS

#### 5.4.1 General

The exposed components of an external wall that are less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle of less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D) shall be one of the following:

- (a) Non-combustible material including the following provided the minimum thickness is 90 mm:
  - (i) Full masonry or masonry veneer walls with an outer leaf of clay, concrete, calcium silicate or natural stone.
  - (ii) Precast or in situ walls of concrete or aerated concrete.
  - (iii) Earth wall including mud brick; or
- (b) Timber logs of a species with a density of 680 kg/m<sup>3</sup> or greater at a 12% moisture content; of a minimum nominal overall thickness of 90 mm and a minimum thickness of 70 mm (see Clause 3.11); and gauge planed; or
- (c) Cladding that is fixed externally to a timber-framed or a steel-framed wall and is—
  - (i) non-combustible material; or
  - (ii) fibre-cement a minimum of 6 mm in thickness; or
  - (iii) bushfire-resisting timber (see Appendix F); or
  - (iv) a timber species as specified in Paragraph E1, Appendix E; or (v) a combination of any of items (i), (ii), (iii) or (iv); or
- (d) A combination of any of items (a), (b) or (c).

This Standard does not provide construction requirements for the exposed components of an external wall that are 400 mm or more from the ground or 400 mm or more above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the wall (see Figure D3, Appendix D).

#### 5.4.2 Joints

All joints in the external surface material of walls shall be covered, sealed, overlapped, backed or butt-jointed.

#### 5.4.3 Vents and weepholes

Except for exclusions provided in Clause 3.6, vents and weepholes in external walls shall be screened with a mesh made of corrosion-resistant steel, bronze or aluminium.

### 5.5 EXTERNAL GLAZED ELEMENTS, ASSEMBLIES AND DOORS

#### 5.5.1 Bushfire shutters

Where fitted, bushfire shutters shall conform with Clause 3.7 and be made from—

- (a) non-combustible material; or
- (b) a timber species as specified in Paragraph E1, Appendix E; or
- (c) bushfire-resisting timber (see Appendix F); or
- (d) a combination of any of items (a), (b) or (c).

#### 5.5.2 Screens for windows and doors

Where fitted, screens for windows and doors shall have a mesh or perforated sheet made of corrosion-resistant steel, bronze or aluminium. The frame supporting the mesh or perforated sheet shall be made from—

- (a) metal; or
- (b) bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E2, Appendix E.

#### 5.5.3 Windows and sidelights

Window assemblies shall:

- (a) Be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or
- (b) Be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- (c) Conform with the following:

- (i) **Frame material** For window assemblies less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D) window frames and window joinery shall be made from one of the following:
  - (A) Bushfire-resisting timber (see Appendix F); or
  - (B) A timber species as specified in Paragraph E2, Appendix E; or
  - (C) Metal; or
  - (D) Metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
- (ii) **Hardware** There are no specific restrictions on hardware for windows.

- (iii) **Glazing** Where glazing is less than 400 mm from the ground or less than 400 mm above decks, carport roofs, awnings and similar elements or fittings having an angle less than 18 degrees to the horizontal and extending more than 110 mm in width from the window frame (see Figure D3, Appendix D), this glazing shall be Grade A safety glass a minimum of 4 mm in thickness or glass blocks with no restriction on glazing methods. NOTE: Where double-glazed assemblies are used above, the requirements apply to the external pane of the glazed assembly only. For all other glazing, annealed glass may be used in accordance with AS 1288.
- (iv) **Seals and weather strips** There are no specific requirements for seals and weather strips at this BAL level.
- (v) **Screens** The openable portions of windows shall be screened internally or externally with screens that conform with Clause 3.6 and Clause 5.5.2.

#### 5.5.4 Doors—Side-hung external doors (including French doors, panel fold and bi-fold doors)

Side-hung external doors, including French doors, panel fold and bi-fold doors, shall—

- (a) be completely protected by bushfire shutters that conform with Clause 3.7 and Clause 5.5.1; or
- (b) be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- (c) conform with the following:
  - (i) **Door panel material** Materials shall be—
    - (A) non-combustible; or
    - (B) solid timber, laminated timber or reconstituted timber, having a minimum thickness of 35 mm for the first 400 mm above the threshold; or
    - (C) hollow core, solid timber, laminated timber or reconstituted timber with a non-combustible kickplate on the outside for the first 400 mm above the threshold; or
    - (D) hollow core, solid timber, laminated timber or reconstituted timber protected externally by a screen that conforms with Clause 5.5.2; or
    - (E) for fully framed glazed door panels, the framing shall be made from metal or bushfire resisting timber (see Appendix F) or a timber species as specified in Paragraph E2, Appendix E or uPVC.
  - (ii) **Door frame material** Door frame materials shall be—
    - (A) bushfire-resisting timber (see Appendix F); or
    - (B) a timber species as specified in Paragraph E2 of Appendix E; or
    - (C) metal; or
    - (D) metal-reinforced uPVC. The reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
  - (iii) **Hardware** There are no specific requirements for hardware at this BAL level.
  - (iv) **Glazing** There are no specific requirements for glazing methods. NOTE: Where double-glazed units are used the above requirements apply to the external pane of the window assembly only.
  - (v) **Seals and weather strips** Weather strips, draft excluders or draft seals shall be installed.
  - (vi) **Screens** There are no requirements to screen the openable part of the door at this BAL level.

#### 5.5.5 Doors—Sliding doors

Sliding doors shall—

- (a) be completely protected by a bushfire shutter that conforms with Clause 3.7 and Clause 5.5.1; or
- (b) be completely protected externally by screens that conform with Clause 3.6 and Clause 5.5.2; or
- (c) conform with the following:
  - (i) **Frame material** The material for door frames, including fully framed glazed doors, shall be—
    - (A) bushfire-resisting timber (see Appendix F); or
    - (B) a timber species as specified in Paragraph E2, Appendix E; or
    - (C) metal; or
    - (D) metal-reinforced uPVC and the reinforcing members shall be made from aluminium, stainless steel, or corrosion-resistant steel.
  - (ii) **Hardware** There are no specific requirements for hardware at this BAL level.
  - (iii) **Glazing** Where doors incorporate glazing, the glazing shall be grade A safety glass a minimum of 4 mm in thickness.
  - (iv) **Seals and weather strips** There are no specific requirements for seals and weather strips at this BAL level.
  - (v) **Screens** There is no requirement to screen the openable part of the sliding door at this BAL level.
  - (vi) **Sliding panels** Sliding panels shall be tight-fitting in the frames.

#### 5.5.6 Doors—Vehicle access doors (garage doors)

The following applies to vehicle access doors:

- (a) The lower portion of a vehicle access door that is within 400 mm of the ground when the door is closed (see Figure D4, Appendix D) shall be made from—
  - (i) non-combustible material; or
  - (ii) bushfire-resisting timber (see Appendix F); or
  - (iii) fibre-cement sheet a minimum of 6 mm in thickness; or
  - (iv) a timber species as specified in Paragraph E1, Appendix E; or
  - (v) a combination of any of items (i), (ii), (iii) or (iv).
- (b) All vehicle access doors shall be protected with suitable weather strips, draught excluders, draught seals or brushes. Door assemblies fitted with guide tracks do not need edge gap protection.  
NOTE:
  - 1 Refer to AS/NZS 4505 for door types.
  - 2 Gaps of door edges or building elements should be protected as per Section 3.
- (c) Vehicle access doors with ventilation slots shall be protected in accordance with Clause 3.6.

### 5.6 ROOFS (INCLUDING PENETRATIONS, EAVES, FASCIAE AND GABLES, AND GUTTERS AND DOWNPIPES)

#### 5.6.1 General

The following applies to all types of roofs and roofing systems:

- (a) Roof tiles, roof sheets and roof-covering accessories shall be non-combustible.
- (b) The roofwall and roof/roof junction shall be sealed or otherwise protected in accordance with Clause 3.6.
- (c) Roof ventilation openings, such as gable and roof vents, shall be fitted with ember guards made of non-combustible material or a mesh or perforated sheet conforming with Clause 3.6 and, made of corrosion-resistant steel, bronze or aluminium.
- (d) Only evaporative coolers manufactured in accordance with AS/NZS 60335.2:98 shall be used. Evaporative coolers with an internal damper to prevent the entry of embers into the roof space need not be screened externally.

#### 5.6.2 Tiled roofs

Tiled roofs shall be fully sarked. The sarking shall—

- (a) be located on top of the roof framing, except that the roof battens may be fixed above the sarking;
- (b) cover the entire roof area including ridges and hips; and
- (c) extend into gutters and valleys.

#### 5.6.3 Sheet roofs

Sheet roofs shall—

- (a) be fully sarked in accordance with Clause 5.6.2, except that foil-backed insulation blankets may be installed over the battens; or
- (b) have any gaps sealed at the fascia or wall line, hips and ridges by—
  - (i) a mesh or perforated sheet that conforms with Clause 3.6 and that is made of corrosion-resistant steel, bronze or aluminium; or
  - (ii) mineral wool; or
  - (iii) other non-combustible material; or
  - (iv) a combination of any of items (i), (ii) or (iii).

#### 5.6.4 Veranda, carport and awning roof

The following applies to veranda, carport and awning roofs:

- (a) A veranda, carport or awning roof forming part of the main roof space (see Figure D1(a), Appendix D) shall meet all the requirements for the main roof, as specified in Clauses 5.6.1 to 5.6.6.
- (b) A veranda, carport or awning roof separated from the main roof space by an external wall (see Figures D1(b) and D1(c), Appendix D) conforming with Clause 5.4 shall have a non-combustible roof covering, except where the roof covering is a translucent or transparent material.  
NOTE: There is no requirement to line the underside of a veranda, carport or awning roof that is separated from the main roof space.

#### 5.6.5 Roof penetrations

The following applies to roof penetrations:

- (a) Roof penetrations, including roof lights, roof ventilators, roof-mounted evaporative cooling units, aerials, vent pipes and supports for solar collectors or the like, shall be sealed. The material used to seal the penetration shall be non-combustible.

- (b) Openings in vented roof lights, roof ventilators or vent pipes shall conform with Clause 3.6 and be made of corrosion-resistant steel, bronze or aluminium. This requirement does not apply to a room sealed gas appliance.

NOTE: A gas appliance designed such that air for combustion does not enter from, or combustion products enter into, the room in which the appliance is located. In the case of gas appliance flues, ember guards shall not be fitted. NOTE: AS/NZS 5601 contains requirements for gas appliance flue systems and cowls. Advice can be obtained from manufacturers and State and Territory gas technical regulators.

- (c) All overhead glazing shall be Grade A safety glass conforming with AS 1288.
- (d) Glazed elements in roof lights and skylights may be of polymer provided a Grade A safety glass diffuser, conforming with AS 1288, is installed under the glazing. Where glazing is an insulating glazing unit (IGU), Grade A toughened safety glass of minimum 4 mm in thickness shall be used in the outer pane of the IGU.
- (e) Flashing elements of tubular skylights may be of a fire-retardant material, provided the roof integrity is maintained by an under-flashing of a material having a flammability index not exceeding five.
- (f) Evaporative cooling units shall be fitted with non-combustible butterfly closers as close as practicable to the roof level or the unit shall be fitted with non-combustible covers with a mesh or perforated sheet with a maximum aperture of 2 mm, made of corrosion-resistant steel, bronze or aluminium.
- (g) Vent pipes made from PVC are permitted.
- (h) Eaves lighting shall be adequately sealed and not compromise the performance of the element.

#### 5.6.6 Eaves linings, fascias and gables

The following applies to eaves linings, fascias and gables:

- (a) Gables shall conform with Clause 5.4.
- (b) Eaves penetrations shall be protected in the same way as roof penetrations, as specified in Clause 5.6.5.
- (c) Eaves ventilation openings shall be fitted with ember guards in accordance with Clause 3.6 and made of corrosion-resistant steel, bronze or aluminium. Joints in eaves linings, fascias and gables may be sealed with plastic joining strips or timber storm moulds.

This Standard does not provide construction requirements for fascias, bargeboards and eaves linings.

#### 5.6.7 Gutters and downpipes

This Standard does not provide material requirements for—

- (a) gutters, with the exception of box gutters; and
- (b) downpipes. If installed, gutter and valley leaf guards shall be non-combustible. Box gutters shall be non-combustible and flashed at the junction with the roof with non-combustible material.

### 5.7 VERANDAS, DECKS, STEPS AND LANDINGS

#### 5.7.1 General

Decking may be spaced. There is no requirement to enclose the subfloor spaces of verandas, decks, steps, ramps or landings.

#### 5.7.2 Enclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.2.1 Materials to enclose a subfloor space

This Standard does not provide construction requirements for the materials used to enclose a subfloor space except where those materials are less than 400 mm from the ground. Where the materials used to enclose a subfloor space are less than 400 mm from the ground, they shall conform with Clause 5.4.

#### 5.7.2.2 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.2.3 Framing This Standard does not provide construction requirements for the framing of verandas, pergolas, decks, ramps or landings (i.e. bearers and joists).

#### 5.7.2.4 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

- (a) non-combustible material; or
- (b) bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E1, Appendix E; or
- (d) uPVC; or
- (e) a combination of any of items (a), (b), (c) or (d).

#### 5.7.3 Unenclosed subfloor spaces of verandas, decks, steps, ramps and landings

5.7.3.1 Supports

This Standard does not provide construction requirements for support posts, columns, stumps, stringers, piers and poles.

5.7.3.2 Framing This Standard does not provide construction requirements for the framing of verandas, decks, ramps or landings (i.e. bearers and joists).

#### 5.7.3.3 Decking, stair treads and the trafficable surfaces of ramps and landings

This Standard does not provide construction requirements for decking, stair treads and the trafficable surfaces of ramps and landings that are more than 300 mm from a glazed element. Decking, stair treads and the trafficable surfaces of ramps and landings less than 300 mm (measured horizontally at deck level) from glazed elements that are less than 400 mm (measured vertically) from the surface of the deck (see Figure D2, Appendix D) shall be made from—

- (a) non-combustible material; or
- (b) bushfire-resisting timber (see Appendix F); or
- (c) a timber species as specified in Paragraph E1, Appendix E; or
- (d) a combination of any of items (a), (b) or (c) above.

#### 5.7.4 Balustrades, handrails or other barriers

This Standard does not provide construction requirements for balustrades, handrails and other barriers.

#### 5.7.5 Veranda posts

Veranda posts—

- (a) shall be timber mounted on galvanized mounted shoes or stumps with a clearance of not less than 75 mm above the adjacent finished ground level; or
- (b) less than 400 mm (measured vertically) from the surface of the deck or ground (see Figure D2, Appendix D) shall be made from—
  - (i) non-combustible material; or
  - (ii) bushfire-resisting timber (see Appendix F); or
  - (iii) a timber species as specified in Paragraph E1, Appendix E; or
  - (iv) a combination of any of items (a) or (b).

### 5.8 WATER AND GAS SUPPLY PIPES

Above-ground, exposed water supply pipes shall be metal.

External gas pipes and fittings above ground shall be of steel or copper construction having a minimum wall thickness in accordance with gas regulations or 0.9 mm whichever is the greater. The metal pipe shall extend a minimum of 400 mm within the building and 100 mm below ground.

NOTE: Refer to State and Territory gas regulations, AS/NZS 5601.1 and AS/NZS 4645.1

## BAL 12.5 Notes

Proposed Residence  
A. Ellis  
50 Tippetts Road  
Mount Hicks

## ABEL DRAFTING SERVICES PTY. LTD.

33 GOLDIE STREET WYNYARD TAS. 7325  
ABN 78 009 572 749  
CC 1070 Ian Ray

PH. (03) 6442 3411



DRAWN  
Mar schrammeyer

PROJECT NUMBER

20081

Plot Date: 28/9/20

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Project Date: 15/7/20

11/11



## **ABEL DRAFTING SERVICES PTY LTD**

ABN 78 009 572 749



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33 Goldie Street  
PO Box 579  
Wynyard Tas 7325  
Telephone 03 6442 3411  
E-Mail: [ian@abeldesign.com.au](mailto:ian@abeldesign.com.au)

SMITHTON OFFICE  
5 Britton's Road  
P O Box 219  
Smithton Tas 7330  
Telephone 03 6452 3411  
[rodney@abeldesign.com.au](mailto:rodney@abeldesign.com.au)

### **Demonstration of Planning Compliance**

**Project No:** 20081  
**Date:** 7/9/2020  
**Client:** A. Ellis  
**Address:** 50 Tippetts Road, Mount Hicks  
**Project:** Proposed Residence

**Property ID:** 1985104  
**Title:** 133988/1  
**Land Zoning:** Rural Living

### **8.0 Assessment of an application for use or development**

A full description of the proposed development is the client proposes to construct a new residence in the Rural Living Zone. There is a variation of suitability of site and location or configuration of development.

#### **13.4.1 Suitability of a site or lot for use or development**

##### **Objective:**

The minimum properties of a site and of each lot on a plan of subdivision are to -

- (a) provide a suitable development area for the intended use;
- (b) provide access from a road; and
- (c) make adequate provision for a water supply and for the drainage and disposal of sewage and stormwater

##### **A1**

*Does not satisfy*

##### **P1**

A site or each lot on a plan of subdivision must -

- (a) if intended for residential use be of sufficient size to be consistent with clauses 13.1.1, 13.1.2 and 13.1.3 having regard to -
  - (i) the number, size and distribution of existing and approved lots on land in the vicinity;
  - (ii) the pattern, intensity and character of established use and development on other lots in the vicinity;
  - (iii) the capacity of any available or planned utilities; and
  - (iv) capability of the land to accommodate residential use; and
- (b) be of sufficient size for the intended use having regard to the effect of one or more of the following as are relevant to the size of a site or lot -
  - (i) topography of the land and land in the vicinity;
  - (ii) natural drainage of the land and land in the vicinity;
  - (iii) the desirability of protecting native vegetation, landscape features, natural and cultural values;
  - (iv) provision for management of exposure to natural hazards;
  - (v) provision of an accessible building area;

Page 1 of 4

- (vi) compliance to the acceptable solution criteria in any applicable standard for location and separation of a building;
- (vii) arrangements for the convenient provision of roads and access to the land;
- (viii) arrangements for the provision of a water supply and for the drainage and disposal of sewage and stormwater;
- (ix) any restriction or requirement of a lawful easement or statutory interest in the land; and
- (x) opportunity for solar access to a building area.

***Lot size is consistent with the scattered small-scale residential style development typical along Tippetts Road. Current arrangements support the existing developments in the area along with proposed development for the lot in question. Lot size allows for a cluster of residential development consistent with local area objectives and desired future character statement on larger lots than a typical suburban arrangement in a rural setting, this is consistent with the existing streetscape.***

#### **13.4.2 Dwelling density**

**Objective:**

Residential dwelling density is to –

- (a) make efficient use of land for housing;
- (b) optimise utilities and community services; and
- (c) be consistent with any constraint on suitability of the land for residential use

**P1**

The number of dwellings on a lot or site must be consistent with:

- (a) clauses 13.1.1, 13.1.2 and 13.1.3 having regard to –
  - (i) the size of any existing or approved lot or site on land in the vicinity; and
  - (ii) the pattern, intensity and character of established use and development on other lots in the vicinity; and
- (b) the capability of the land for residential use having regard to the effect of one or more of the following as are relevant to the size of a site or lot –
  - (i) topography;
  - (ii) natural drainage;
  - (iii) the desirability of protecting native vegetation, landscape features, natural and cultural values;
  - (iv) provision for management of exposure to natural hazards;
  - (v) provision for access to the building area;
  - (vi) compliance to the acceptable solution criteria in any applicable standard for location and separation of a building in relation to a frontage, side or rear boundary or zone boundary and from adjacent buildings;
  - (vii) arrangements for the convenient provision of roads and access to the land;
  - (viii) arrangements for the provision of a water supply and for the drainage and disposal of sewage and stormwater;
  - (ix) any restriction or requirement of a lawful easement or statutory interest in the land; and
  - (x) opportunity for solar access to each building.

***The development is proposed to be a part of an existing scattered small scale rural settlement node in a rural setting, this is within the scope set out in 13.1.1, 13.2.1 & 13.1.3. The land is capable under the proposed development of servicing the needs for a residential dwelling with associated amenities.***

### **13.4.3 Location and configuration of development**

**Objective:**

The location and configuration of development is to –

- (a) provide for retention of the rural setting;
- (b) be consistent with land capability;
- (c) provide a consistent separation between the development area on adjacent sites and between development and a road;
- (d) provide consistency in the apparent scale, bulk, massing, and proportion of adjacent buildings;
- (e) provide sufficient site area for open space, utilities, and vehicle parking; and
- (f) assist to attenuate likely impact on amenity of residential use on adjacent land

#### **A1**

*Does not satisfy*

#### **P1**

The setback of a building, utility structure or carport from a frontage must be –

- (a) consistent with the rural setting and streetscape; and
- (b) required by a constraint imposed by –
  - (i) size and shape of the site;
  - (ii) orientation and topography of land;
  - (iii) arrangements for a water supply and for the drainage and disposal of sewage and stormwater;
  - (iv) arrangements for vehicular or pedestrian access;
  - (v) any requirement of a conservation or urban design outcome detailed in a provision in this planning scheme;
  - (vi) a utility; or
  - (vii) any lawful and binding requirement –
    - a. by the State or a council or by an entity owned or regulated by the State or a council to acquire or occupy part of the site; or
    - b. an interest protected at law by an easement or other regulation

**Setback proposed is required given the topology of the site and maintaining 30m separation from the adjacent watercourse. Any greater setback would result in a considerably steeper building site as the land rapidly drops away to the creek. Existing arrangements for access are in place and are intended to be maintained. Variations in setbacks defined in A1 can be found on several lots along the streetscape, notably 68 & 53 Tippetts Road. Additional attenuation is provided by the location of the existing fence line. The fence line is historically beyond the title boundary into the road reserve, such arrangements have been in place for some time and are consistent in the area with several properties along Tippetts Road creeping fence lines out into the road reserve. This land is undeveloped, and its use has negligible impact on the road.**

#### **A2**

*Does not satisfy*

## **P2**

Building height and location of a building in relation to site boundaries must –

- (a) minimise likelihood for overshadowing of a habitable room in an adjacent dwelling on the site;
- (b) take account of the relationship between appearance and design characteristics of the buildings and any buildings on adjacent land;
- (c) minimise the apparent scale, bulk, massing and proportion relative to any adjacent building;
- (d) be consistent with the rural setting and the streetscape;
- (e) respond to the effect of the slope and orientation of the site to attenuate impact on adjacent land

***Scale of development is consistent with the setting. Being smaller than most developments along Tippetts Road its bulk and massing are relatively minimised. Between 9am and 3pm on June 21<sup>st</sup> overshadowing is non-existent, shading is wholly contained within the site. Location of development is responding to the restriction imposed by the topography beyond the proposed location.***



**Rebecca Plapp**

---

**From:** Chani Summers <chani1084@y7mail.com>  
**Sent:** Tuesday, 22 December 2020 10:34 PM  
**To:** Shane Crawford; Celisa Edwards; Annette Hone; Council  
**Subject:** DA 143/2020

To whom it may concern,

Please accept this email as our objection to the application for dwelling at 50 Tippetts Road Mount Hicks. We are aware that 10 meters is the required distance for structures from boundaries we do not want the container 2.4 meters from our boundary fence, we are concerned this will set the precedent for other structures to be constructed that close as well as the eye sore the ugly container is from our house. Also as per the covenant on lot 1 section 6 dwelling should have a minimum of 180 squares of livable space, as per the application will be no where near this size. We are also extremely concerned with regards to the lack of a fire tank on the plans we all need one how is it this property is going to be exempt from this requirement. We are also concerned this application is a smoke screen and a half hearted attempt to stay in the squalid conditions the applicant currently lives in. I am aware that you as a council are afraid of negative press removing her from living there would have caused but what about the rest of the rate paying residence who have had to wait 12 months for the first formal attempt at a planning application.

Regards Chani and Troy Schumann  
54 Tippetts Road Mount Hicks  
0457151819

[Sent from Yahoo Mail for iPhone](#)

**Rebecca Plapp**

---

**From:** Tony Dick <tony.dick@dbtrans.com.au>  
**Sent:** Wednesday, 23 December 2020 11:20 AM  
**To:** admindev  
**Cc:** Council; Robby Walsh  
**Subject:** Attention General Manager WWC 50 Tippetts Lane DA-143-2020-50 objection  
**Importance:** High

To The General Manager

This sorry saga has gone on for 18 months to long and to insult the intelligence of the rest of the Tippetts Lane residents with this application beggars belief , it is a blatant attempt to legitimise the current unsanitary and unsightly living arrangements at this site.

The " resident " has been squatting in a non approved ,non complying dwelling for over 18 months now in what appears to be contravention of the councils own planning guidelines. I can not see a mandated completion date for the " dwelling" which is nothing more than a glorified tin shed which greatly

reduces the amenity of the area and the surrounding properties.

I strongly object to the road set back on this property and others as we run an agricultural enterprise at the end of Tippetts Lane and the encroachment onto the road reserve creates significant issues for traffic management in and out .

The road infrastructure is barely adequate for the amount of dwellings on the road now and to allow

Kind Regards

Tony Dick

Burnie Branch Manager



Phone 03 64302318 Mobile 0400 177 145 Email [tony.dick@dbtrans.com.au](mailto:tony.dick@dbtrans.com.au)

8 River Road Burnie Tasmania Australia 7320

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---

**From:** admindev [mailto:[admindev@warwyn.tas.gov.au](mailto:admindev@warwyn.tas.gov.au)]  
**Sent:** Wednesday, 23 December 2020 11:01 AM

**Enclosure 3 Representation 2**

---

**To:** Tony Dick

**Subject:** FW: how do I object to a planning application

Good morning Tony

In response to your query regarding lodging a representation to a development application I advise the following:

Any person who wishes to make representations in accordance with the *Land Use Planning and Approvals Act 1993*, must do so during the 14-day period.

Representations are to be made in writing and addressed to the General Manager, PO Box 168, Wynyard, 7325, or

email [council@warwyn.tas.gov.au](mailto:council@warwyn.tas.gov.au) by Monday 11 January 2021.

Please do not hesitate to contact this office if you have any queries regarding this matter.

Regards

**Annette Hone**

Development & Regulatory Services Coordinator

Infrastructure & Development Services

Waratah-Wynyard Council

21 Saunders Street (PO Box 168)

Wynyard Tasmania 7325

Phone: (03) 6443 8341

Email: [ahone@warwyn.tas.gov.au](mailto:ahone@warwyn.tas.gov.au)



**At Waratah-Wynyard Council we take our responsibility to our community seriously. For accurate and up-to-date information regarding the current COVID-19 Pandemic please visit one of the following websites.**

Australian Government Coronavirus website at

<https://www.health.gov.au/news/health-alerts/novel-coronavirus-2019-ncov-health-alert>

Tasmanian Department of Health updates are at

[https://www.dhhs.tas.gov.au/news/2020/coronavirus\\_update](https://www.dhhs.tas.gov.au/news/2020/coronavirus_update)



**Enclosure 3 Representation 2**

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**From:** Council <council@warwyn.tas.gov.au>  
**Sent:** Wednesday, 23 December 2020 9:12 AM  
**To:** admindev <admindev@warwyn.tas.gov.au>  
**Subject:** FW: how do I object to a planning application

---

**From:** Tony Dick <[tony.dick@dbtrans.com.au](mailto:tony.dick@dbtrans.com.au)>  
**Sent:** Wednesday, 23 December 2020 7:33 AM  
**To:** Council <[council@warwyn.tas.gov.au](mailto:council@warwyn.tas.gov.au)>  
**Cc:** townplanner <[townplanner@warwyn.tas.gov.au](mailto:townplanner@warwyn.tas.gov.au)>; Robby Walsh <[mayor.rwalsh@warwyn.tas.gov.au](mailto:mayor.rwalsh@warwyn.tas.gov.au)>  
**Subject:** how do I object to a planning application

Good Morning

Is the application for 50 Tippetts Lane DA-143-2020-50 some sort of sick joke ? All it does is legitimise the current squatters camp on the site this is not an acceptable outcome.

Please advise what format we need to submit a formal objection in via email as soon as possible.

Kind Regards

Tony Dick

Burnie Branch Manager



Phone 03 64302318 Mobile 0400 177 145 Email [tony.dick@dbtrans.com.au](mailto:tony.dick@dbtrans.com.au)

8 River Road Burnie Tasmania Australia 7320

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Any views expressed in this message are those of the individual and may not necessarily reflect the views of De Bruyn's Transport.

## Agreement for Extension of Time

In accordance with Section 57 (6) of the *Land Use Planning and Approvals Act 1993* I

Abel Drafting Services P/L

of

PO Box 579  
WYNYARD TAS 7325

hereby grant the Planning Authority an extension of time until the 22 day of February 2021,

Ref. No. 1985104 & DA 143/2020

Signed



(Applicant)

IAN RAY - ABEL DRAFTING SERVICES (Applicant)

18/12/2020 (Date)

Signed



ASHLEY THORNTON, *per Council delegation*

(Manager Development & Regulatory Services)

18/12/2020 (Date)



# SD 2109

## 11 Little Quiggin Street WARATAH

**Proposal: Subdivision (Consolidate 5 titles into 1)**  
**Discretionary Matter: Subdivision 16.4.8 (P1), Reticulation of an electricity supply to new lots on a plan of subdivision 16.4.9 (P1)**

**REPRESENTATIONS CLOSE ON:  
 Wednesday 2 December 2020**

Please Note:

All documents contained herewith are for public viewing only and must not be removed from the Council offices.

6997913

Documents Enclosed	Mon	Tue	Wed	Thu	Fri	Mon	Tue	Wed	Thu	Fri	Mon	Tue	Wed
Application Form													
Site Notice													
Location Map													
Titles													
Bushfire Hazard Management Report by ES&D													
Plans of Subdivision by PDA													
Surveyors Project No 46124													





**PLANNING PERMIT APPLICATION**  
**APPLICATION FOR PLANNING APPROVAL UNDER SECTION 51,**  
**LAND USE PLANNING & APPROVALS ACT 1993**

<b>PERMITTED APPLICATION</b> - Assessment and determination of a permit application under <i>S58 Land Use Planning and Approvals Act 1993</i>	\$250.00 plus \$1.15 per \$1,000 of value for use or development
<b>DISCRETIONARY APPLICATION</b> -- Assessment and determination of a permit application under <i>S57 Land Use Planning and Approvals Act 1993</i>	\$350.00 plus \$1.50 per \$1,000 of value for use or development + advertising fee
<b>Level 2 "Environmental Activity – Additional charge to permit application"</b>	\$460.00 + advertising fee by quote
Advertising fee will be reimbursed if no advertising is required	
Please refer to <a href="http://www.warwyn.tas.gov.au">www.warwyn.tas.gov.au</a> (Council Services – Planning Services – Planning Fees) for all other fees	

Is a hard copy of planning permit and endorsed documents required? Yes ..... No NO .....

- Value of work (inc GST) \$ 3000 ..... Contract Price ..... Estimate Yes .....
- Development Address 11 LITTLE QUIGGIN STREET, WARATAH .....
- Full Name of Applicant(s) PDA Surveyors .....  
 Contact Details: Address: 6 QUEEN STREET, BURNIE .....  
 Email Address john.magee@pda.com.au .....  
 Telephone – Day 6431 4400 ..... Mobile 0409 833 029 .....  
 For requests in hardcopy format all correspondence in relation to this application, will be sent to the postal address, otherwise all correspondence will be forwarded to the email address)

- Would you like the contact address recorded above to be applied for all future Council correspondence? (including rates/animal control etc)? Yes..... No NO .....

5. **WHERE THE APPLICANT IS NOT THE OWNER**  
 In accordance with Section 52 of the *Land Use Planning and Approvals Act 1993* if the applicant for the permit is not the owner of the land in respect of which the permit is required, the applicant must include in the application for the permit, a declaration that the applicant has notified the owner of the intention to make the application.

In the event that the property is owned or managed by the Crown or Council, this application is to be signed by the relevant Crown Minister responsible, or General Manager of the Council, and accompanied by written permission of the Minister/General Manager to the making of this application.

Name of Property Owner (see authorisation below)

Full Name GLENN CLARKE ..... Telephone – Home 0477 020 004 .....

Address 11 LITTLE QUIGGIN STREET, WARATAH ..... Telephone Work/Business .....  
nadeaneashwood@gmail.com .....

**Applicant's Notification to Owner** John Magee (PDA Surveyors)

I .....  
 Full Name of Applicant(s) .....

of 6 Queen Street, Burnie .....  
 Applicant's Address .....

Declare that I/we have notified the owner(s) of the property(ies) of the intention to make this application.  
 I/We understand that in accordance with Section 52(2) of the *Land Use Planning and Approvals Act 1993* a person must not obtain or attempt to obtain a permit by wilfully making, or causing to be made, any false representation or declaration either orally or in writing.

Applicant's Signature(s) [Signature] ..... 5/11/20 .....



**6. Proposed Development (Fully describe intended use of land or premises)**

Consolidation of 5 existing titles into 1 lot

.....

.....

.....

.....

**7. Supporting Information if necessary to explain special features of the proposal.**

(Attach separate sheet if required)

Bushfire Hazard Report by ES&D

Plan of Subdivision by PDA Surveyors

.....

.....

.....

To include –

**a. One Copy (electronic copy if available) of any plan(s) and/or specification(s) for the proposed development, showing where applicable:**

- ☐ i. Sufficient information to demonstrate compliance with all applicable standards, purpose statements in applicable zones and codes, any relevant local area objectives or desired future character statements;
- ☐ ii. a full description of the proposed use or development;
- ☐ iii. a full description of the manner in which the use or development will operate;
- ☐ iv. a site analysis and site plan at an acceptable scale;
- ☐ v. a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200;
- ☐ vi. a plan of the proposed landscaping;
- ☐ vii. car parking facilities and capacity;
- ☐ viii. area of clearing of trees and bushland;
- ☐ ix. size, position, colour, illumination, fixing or support and other design details of advertising sign(s).

**b. A full copy of your title shall also accompany the application.**

Title Certificate ☒

Title Plan ☒

Schedule of Easements ☒

**c. Relevant engineering pre-lodgement approvals**

Access ☐

Stormwater ☐

**8. Present use of site and/or buildings – full description**

Residential

.....

.....

**9. Car Parking**

**Floor Area**

**Site Area**

Existing on site	.....	Existing	..... m <sup>2</sup>	3151	.....m <sup>2</sup>
Total no. proposed	.....	Proposed	..... m <sup>2</sup>		
		Total	.....m <sup>2</sup>		

**Questions 10 to 13 relate to Commercial and Industrial Uses and Developments only**

10. What days and hours of operation are proposed?

Monday to Friday: From ..... a.m. to ..... p.m.

Saturday: From ..... a.m. to ..... p.m.

Sunday: From ..... a.m. to ..... p.m.

11. Number of Employees?

Existing .....

Proposed .....

12. Vehicles visiting or delivering to or from the site?

Type	No.	Trips per day
.....	.....	.....
.....	.....	.....

.....

.....

13. What type of machinery is to be installed or used?

Type	No.
.....	.....
.....	.....

.....

.....

**DECLARATION BY APPLICANT (mandatory)**

I declare that the information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with the development application may be made available to the public. I understand that the Council may make such copies of the information and materials as in its opinion are necessary to facilitate a thorough consideration of the Permit Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application for the purposes of assessment of that application. I indemnify the Waratah-Wynyard Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.

I/We hereby acknowledge that Section 20(a) of the *Local Government Act 1993* provides the power for persons authorised by the General Manager to enter land without notice in relation to an application by the owner or occupier for a licence, permit or other approval given by the council.

Signature(s) .....  
(all applicants to sign)

5/11/2020

Date .....



## NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for the following development:-

**No.:** SD 2109

**LOCATION:** 11 Little Quiggin Street WARATAH

**APPLICANT:** PDA Surveyors Pty Ltd

**ZONING:** Village

**USE CLASS:** Residential

**PROPOSAL:** Subdivision (Consolidate 5 titles into 1)

**Discretionary Matter:** Subdivision 16.4.8 (P1), Reticulation of an electricity supply to new lots on a plan of subdivision 16.4.9 (P1)

The application and associated plans and documents will be available for inspection during normal office hours for a period of 14 days from the date of this notice at the Council Office, Saunders Street, Wynyard or can be viewed on the Council website [www.warwyn.tas.gov.au](http://www.warwyn.tas.gov.au).

Any person who wishes to make representations in accordance with the *Land Use Planning and Approvals Act 1993*, must do so during the 14-day period.

Representations in writing will be received by the General Manager, PO Box 168, Wynyard, 7325, email [council@warwyn.tas.gov.au](mailto:council@warwyn.tas.gov.au) by **Wednesday 2 December 2020**.

Dated Wednesday 18 November 2020.

**Shane Crawford**  
**GENERAL MANAGER**



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 54536	FOLIO 5
EDITION 4	DATE OF ISSUE 22-Mar-2016

SEARCH DATE : 14-Sep-2020

SEARCH TIME : 02.40 PM

DESCRIPTION OF LAND

Town of WARATAH

Lot 5 on Sealed Plan 54536 (formerly being SP4745)

Derivation : Whole of 20Ps., and 17 1/2Ps. (Sec. K.), Part of  
0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 22.  
8/10Ps., 0A-1R-0Ps., 0A-1R-0Ps., 19 1/2Ps. 0A-1R-17.7/10Ps.,  
22.3/10Ps., (Sec. K.) - Gtd. to The Director of Housing  
Prior CT 3327/33

SCHEDULE 1

E34632 TRANSFER to GLENN NORMAN CLARKE Registered  
22-Mar-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP 54536 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 54536	FOLIO 6
EDITION 4	DATE OF ISSUE 22-Mar-2016

SEARCH DATE : 14-Sep-2020

SEARCH TIME : 02.40 PM

DESCRIPTION OF LAND

Town of WARATAH

Lot 6 on Sealed Plan 54536 (formerly being SP4745)

Derivation : Whole of 20Ps., and 17.5Ps. (Sec. K.), Part of  
 0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 22.8/10Ps.,  
 0A-1R-0Ps., 0A-1R-0Ps., 19.5Ps. 0A-1R-17.7/10Ps., 22.3/10Ps.,  
 (Sec. K.) - Gtd. to The Director of Housing  
 Prior CT 3327/34

SCHEDULE 1

E34632 TRANSFER to GLENN NORMAN CLARKE Registered  
 22-Mar-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
 SP 4745 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 54536	FOLIO 7
EDITION 4	DATE OF ISSUE 22-Mar-2016

SEARCH DATE : 14-Sep-2020

SEARCH TIME : 02.41 PM

DESCRIPTION OF LAND

Town of WARATAH

Lot 7 on Sealed Plan 54536 (formerly being SP4745)

Derivation : Whole of 20Ps., and 17.5Ps. (Sec. K.), Part of  
0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 22.8/10Ps.,  
0A-1R-0Ps., 0A-1R-0Ps., 19.5Ps. 0A-1R-17.7/10Ps., 22.3/10Ps.,  
(Sec. K.) - Gtd. to The Director of Housing  
Prior CT 3327/35

SCHEDULE 1

E34632 TRANSFER to GLENN NORMAN CLARKE Registered  
22-Mar-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP 4745 EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations



**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME 54536	FOLIO 8
EDITION 4	DATE OF ISSUE 22-Mar-2016

SEARCH DATE : 14-Sep-2020

SEARCH TIME : 02.43 PM

DESCRIPTION OF LAND

Town of WARATAH

Lot 8 on Sealed Plan 54536 (formerly being SP4745)

Derivation : Whole of 20Ps., and 17.5Ps. (Sec. K.), Part of  
0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 0A-2R-0Ps., 22.8/10Ps.,  
0A-1R-0Ps., 0A-1R-0Ps., 19.5Ps. 0A-1R-17.7/10Ps., 22.3/10Ps.,  
(Sec. K.) - Gtd. to The Director of Housing  
Prior CT 3327/36

SCHEDULE 1

E34632    TRANSFER to GLENN NORMAN CLARKE    Registered  
22-Mar-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any  
SP 4745    EASEMENTS in Schedule of Easements

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

**RESULT OF SEARCH**

RECORDER OF TITLES

*Issued Pursuant to the Land Titles Act 1980*

## SEARCH OF TORRENS TITLE

VOLUME	FOLIO
54536	16
EDITION	DATE OF ISSUE
4	30-Mar-2016

SEARCH DATE : 14-Sep-2020

SEARCH TIME : 02.39 PM

DESCRIPTION OF LAND

Town of WARATAH

Lot 16 on Sealed Plan 54536

Derivation : Part of 0 acres 1 rood 0 perches (Section K)

originally granted to THE DIRECTOR OF HOUSING and duly

surrendered by A774409 and re-granted to C.R. &amp; R.L. DICKBY

B557397

Prior CT 3327/44

SCHEDULE 1

E34631 TRANSFER to GLENN NORMAN CLARKE Registered  
30-Mar-2016 at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP4745 EASEMENTS (if any) in Schedule of Easements

B557397 FENCING PROVISION in Transfer

E39428 MORTGAGE to Australia and New Zealand Banking Group  
Limited Registered 30-Mar-2016 at 12.02 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

QUIGGIN STREET 66 FEET WIDE

ANNIE STREET 66 FEET WIDE

WILLIAM STREET 66 FEET WIDE

LITTLE QUIGGIN STREET 50 FEET WIDE

SMITH STREET

(S.P. 4015)

(S.P. 10233)

(SP 111010) →



# FOLIO PLAN

RECORDER OF TITLES

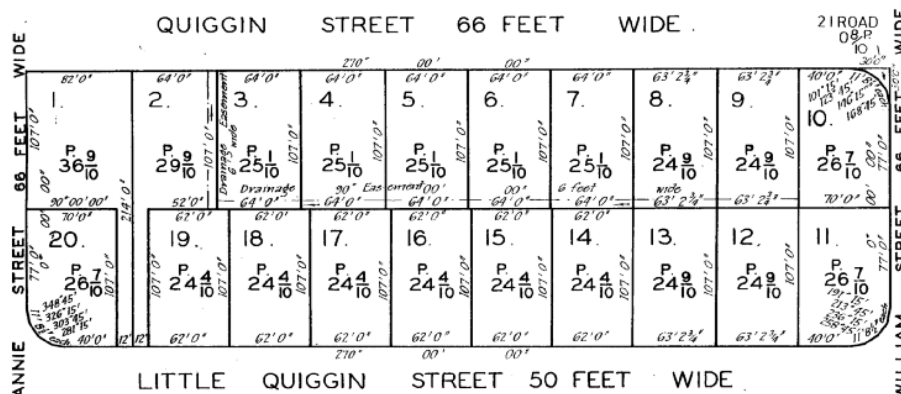
Issued Pursuant to the Land Titles Act 1980



Owner: DIRECTOR OF HOUSING	PLAN OF SURVEY by Surveyor <i>R. J. Tatham</i> of land situated in the	Registered Number: <b>S.P. 4745</b>
Title Reference: 2600 - 54 CT 3253 - 70 CT 2600 - 92 CT	TOWN OF WARATAH SECTION K.	Effective from <i>17-4-73</i>
Grantee: <i>Part of Lot 1 Director of Housing, Lot 2 Michael Bevan, Lot 3 James Cade, Lot 4 Hugh Cunningham, Lot 5 James Quinlan, Lot 6 George Heaton, Lot 7 George Heaton &amp; Lot 8 James Smith</i>		Record of Titles <i>M. J. Thompson</i>

PART OF 0.2.0, 0.2.0, 0.2.0, 0.2.0,  
(0.2.0.0.2.2.0) 0.1.0, 0.1.0, 0.1.0.1.0,  
0.1.17.0, 2.2.0 AND WHOLE OF 20,  
& 17.0, G.T.D. TO DIRECTOR OF HOUSING. n.s.p.

REGISTERED NUMBER  
**54536**



(S.P. 26002) (S.P. 4015)

(S.P. 10233)

(S.P. 111010) →

SMITH STREET



# FOLIO PLAN

RECORDER OF TITLES

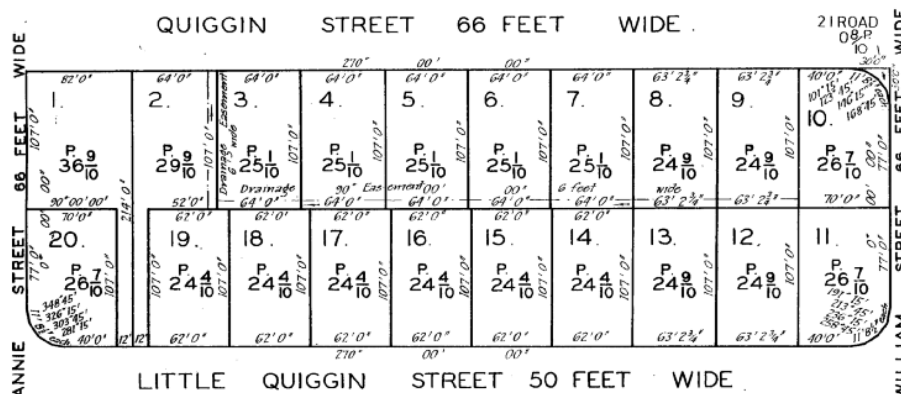
Issued Pursuant to the Land Titles Act 1980



Owner: DIRECTOR OF HOUSING	PLAN OF SURVEY by Surveyor <i>R. J. Tatham</i> of land situated in the	Registered Number: <b>S.P. 4745</b>
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Grantee: <i>Part of Lot 1 Director of Housing, Lot 2 Michael Bevan, Lot 3 James Cade, Lot 4 Hugh Cunningham, Lot 5 James Quinlan, Lot 6 George Heaton, Lot 7 George Heaton &amp; Lot 8 James Smith</i>		Record of Titles

PART OF 0.2.0, 0.2.0, 0.2.0, 0.2.0,  
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0.1.17.0, 2.2.0 AND WHOLE OF 20,  
& 17.0, G.T.D. TO DIRECTOR OF HOUSING. n.s.p.

REGISTERED NUMBER  
**54536**



(S.P. 26002) (S.P. 4015)

(S.P. 10233)

(S.P. 111010) →

SMITH STREET



# FOLIO PLAN

RECORDER OF TITLES

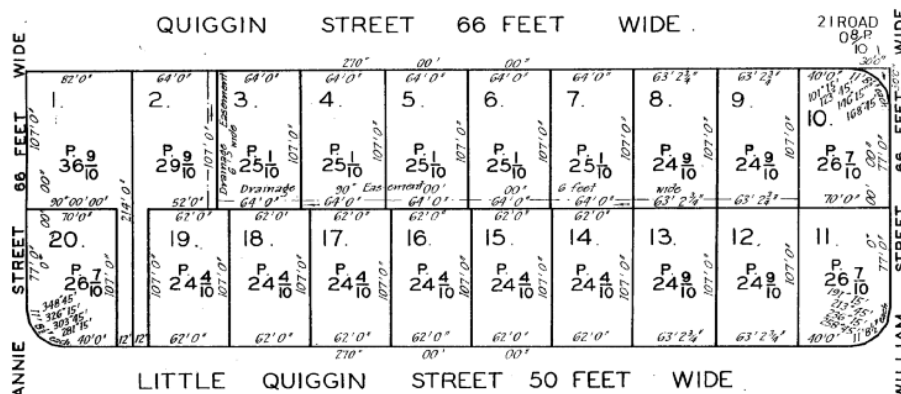
Issued Pursuant to the Land Titles Act 1980



Owner: DIRECTOR OF HOUSING	PLAN OF SURVEY by Surveyor <i>R. J. Tatham</i> of land situated in the	Registered Number: <b>S.P. 4745</b>
Title Reference: 2600 - 54 CT 3253 - 70 CT 2600 - 92 CT	TOWN OF WARATAH SECTION K.	Effective from <i>17-4-73</i>
Grantee: <i>Part of Lot 1 Director of Housing, Lot 2 Michael Bevan, Lot 3 James Cade, Lot 4 Hugh Cunningham, Lot 5 James Quinlan, Lot 6 George Heaton, Lot 7 George Heaton &amp; Lot 8 James Smith</i>		Record of Titles

PART OF 0.2.0, 0.2.0, 0.2.0, 0.2.0,  
(0.2.0.0.2.2.0) 0.1.0, 0.1.0, 0.1.0.1.0,  
0.1.17.0, 2.2.0 AND WHOLE OF 20,  
& 17.0, G.T.D. TO DIRECTOR OF HOUSING. n.s.p.

REGISTERED NUMBER  
**54536**



(S.P. 26002) (S.P. 4015)

(S.P. 10233)

(S.P. 111010) →

SMITH STREET





# FOLIO PLAN

RECORDER OF TITLES

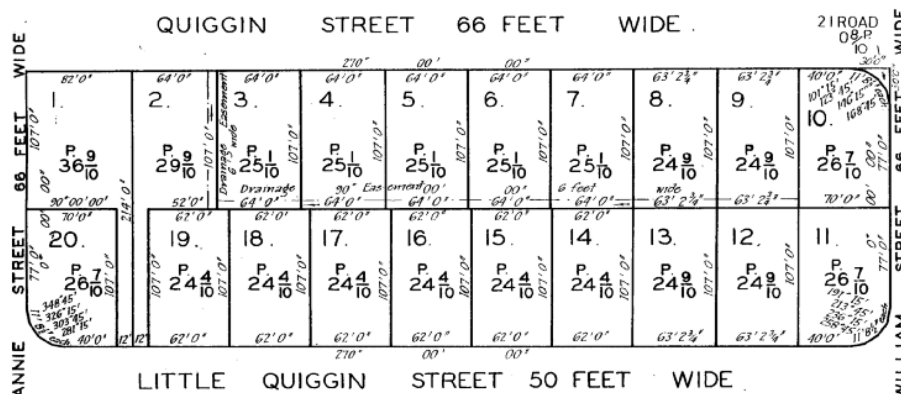
Issued Pursuant to the Land Titles Act 1980



Owner: DIRECTOR OF HOUSING	PLAN OF SURVEY by Surveyor <i>R. J. Tatham</i> of land situated in the	Registered Number: <b>S.P. 4745</b>
Title Reference: 2600 - 54 CT 3253 - 70 CT 2600 - 92 CT	TOWN OF WARATAH SECTION K.	Effective from <i>17-4-73</i>
Grantee: <i>Part of Lot 1 Director of Housing, Lot 2 Michael Bevan, Lot 3 James Cade, Lot 4 Hugh Cunningham, Lot 5 James Quinlan, Lot 6 George Heaton, Lot 7 George Heaton &amp; Lot 8 James Smith</i>		Record of Titles

PART OF 0.2.0, 0.2.0, 0.2.0, 0.2.0,  
(0.2.0.0.2.2.0) 0.1.0, 0.1.0, 0.1.0.1.0,  
0.1.17.0, 2.2.0 AND WHOLE OF 20,  
& 17.0, G.T.D. TO DIRECTOR OF HOUSING. n.s.p.

REGISTERED NUMBER  
**54536**



(S.P. 26002) (S.P. 4015)

(S.P. 10233)

(S.P. 111010) →

SMITH STREET

# SCHEDULE OF EASEMENTS

RECORDER OF TITLES

Issued Pursuant to the Land Titles Act 1980

**SCHEDULE OF EASEMENTS** **PLAN NO.**

**S.P. 4745**

**NOTE**—The Town Clerk or Council Clerk must sign the certificate on the back page for the purpose of identification.

The Schedule must be signed by the owners and mortgagees of the land affected. Signatures should be attested.

**EASEMENTS**

**Rights of Drainage**

Each lot on the plan is together with such rights of drainage over the drainage easements shewn on the plan as may be necessary to drain the stormwater and other surplus water from such lot.

Each lot on the plan is subject to such rights of drainage over the drainage easements (if any) shewn on the plan as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan.

The direction of the flow of water through the drainage easements shewn on the plan is indicated by arrows.

*[Signature]*

**THE DIRECTOR OF HOUSING**  
Registered Proprietor of the land shown on the Plan in the presence of :-

*[Signature]*

Certified correct for the purposes of the Real Property Act, 1862, as amended.

*[Signature]*

**LESLIE FERGUSON ALLWINTON,**  
Director of Housing.

*[Signature]*

16/3/73



[www.thelist.tas.gov.au](http://www.thelist.tas.gov.au)



**Environmental Service and Design Pty Ltd**

ABN 97 107 517 144 ACN 107 517 144

**Office**

74-80 Minna Road  
Heybridge TAS 7316  
Phone : (03) 6431 2999  
Fax: (03) 6431 2933  
[www.esandd.com.au](http://www.esandd.com.au)

**Postal**

PO Box 651  
Burnie TAS 7320

## Bushfire Hazard Management Report

### 11 Little Quiggin Street WARATAH



Applicant:

**Nadeane Clarke**  
**11 Little Quiggin Street**  
**WARATAH TAS 7321**

Prepared by:

Bruce Harpley  
Environmental Service and Design Pty Ltd  
Version 1: 27 October 2020

Contact Phone Number:

0429 355 259

E- Mail:

[bharpley@esandd.com.au](mailto:bharpley@esandd.com.au)

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## **BUSHFIRE-PRONE AREAS CODE**

### **CERTIFICATE<sup>1</sup> UNDER S51(2)(d) *LAND USE PLANNING AND APPROVALS ACT 1993***

---

#### **1. Land to which certificate applies**

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

**Street address:**

11 Little Quiggin Street and Quiggin Street WARATAH

**Certificate of Title / PID:**

54536/16 (PID 6997833) and 54536/5, 54536/6, 54536/7, 54536/8 (PID 6997913)

#### **2. Proposed Use or Development**

**Description of proposed Use and Development:**

Subdivision - amalgamation of 5 lots to create 1 lot

**Applicable Planning Scheme:**

Waratah Wynyard Interim Planning Scheme 2013

#### **3. Documents relied upon**

This certificate relates to the following documents:

<b>Title</b>	<b>Author</b>	<b>Date</b>	<b>Version</b>
Plan of Subdivision (46059-1)	PDA Surveyors	14/09/2020	

---

<sup>1</sup> This document is the approved form of certification for this purpose and must not be altered from its original form.

**4. Nature of Certificate**

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/>	<b>E1.4 / C13.4 – Use or development exempt from this Code</b>	
	<b>Compliance test</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/>	<b>E1.5.1 / C13.5.1 – Vulnerable Uses</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/>	<b>E1.5.2 / C13.5.2 – Hazardous Uses</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/>	E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/>	<b>E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input checked="" type="checkbox"/>	E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance')
<input type="checkbox"/>	E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement



<input checked="" type="checkbox"/>	<b>E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input checked="" type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

<input checked="" type="checkbox"/>	<b>E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes</b>	
	<b>Acceptable Solution</b>	<b>Compliance Requirement</b>
<input checked="" type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

**5. Bushfire Hazard Practitioner**

<b>Name:</b>	Bruce Harpley	<b>Phone No:</b>	0429 355 259
<b>Postal Address:</b>	PO Box 651 BURNIE TAS 7320	<b>Email Address:</b>	bharpley@esandd.com.au
<b>Accreditation No:</b>	BFP – 140	<b>Scope:</b>	1, 2, 3a and 3b

**6. Certification**

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- ☒ Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- ☐ The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

**Signed:**  
certifier



**Name:**

Bruce Harpley

**Date:**

26/10/2020

**Certificate  
Number:**

001/7418

(for Practitioner Use only)

#### **Scope of Assessors Accreditation**

**Bruce Harpley (BFP-140)** is accredited by the Chief Officer of the Tasmania Fire Service under Section 60B of the *Fire Service Act 1979* for scope of works:

1. *Certify a Bushfire Hazard Management Plan for the purposes of the Building Act 2016*
2. *Certify an Exemption from a Bushfire Hazard Management Plan for the purposes of the Building Act 2016 or the Land Use Planning and Approvals Act 1993*
- 3A. *Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for Vulnerable Uses and Hazardous Uses for the purposes of the Land Use Planning and Approvals Act 1993.*
- 3B. *Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for small subdivisions for the purposes of the Land Use Planning and Approvals Act 1993.*

Works performed by **Bruce Harpley (BFP-140)** that require Tasmania Fire Service endorsement:

- 3C. *Certify a Bushfire Hazard Management Plan meets the Acceptable Solutions for large subdivisions for the purposes of the Land Use Planning and Approvals Act 1993.*
4. *Certify an Emergency Management Strategy or Bushfire Emergency Plan*

#### **Disclaimer**

This document has been prepared for the sole use of the client and for a specific purpose, as expressly stated in the document. *Environmental Services and Design Pty Ltd* undertakes no duty nor accepts any responsibility to any third party not being the intended recipient of this document. The information contained in this document has been carefully compiled based on the clients' requirements and *Environmental Services and Design Pty Ltd's* experience, having regard to the assumptions that *Environmental Services and Design Pty Ltd* can reasonably be expected to make in accordance with sound professional principles. *Environmental Services and Design Pty Ltd* may also have relied on information provided by the client and/or other external parties to prepare this document, some of which may not have been verified. Subject to the above conditions, *Environmental Services and Design Pty Ltd* recommends this document should only be transmitted, reproduced or disseminated in its entirety.

Bushfires in Tasmania are an unpredictable natural phenomenon and preparing a Bushfire Hazard Management Plan increases your chances of defending your property and assists in the protection the people whom frequent it. This Fire Hazard Management Plan in no way guarantees immunity from a bushfire in or around your property or the effects thereof.

Any measures implemented based on the advice from *Environmental Services and Design Pty Ltd*, is offered as potential methods of reducing your properties risk of fire damage only and is not to be relied upon as a total solution. It in no way guarantees that any or all buildings on site will survive the effects of a bushfire nor does it guarantee the safety and security of any individuals whom frequent the property.

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Each paragraph of this disclaimer shall be deemed to be separate and severable from each other. If any paragraph is found to be illegal, prohibited or unenforceable, then this shall not invalidate any other paragraphs.

#### **Re-Certification – Ability to Re-Evaluate**

If in the event that the landowner requests a re-assessment of this plan due to a reduced or eliminated bushfire risk in the future; an Accredited Bushfire Assessor can over-ride any or all of the requirements or provisions of this plan. This provision serves to formally expunge any Part 5 Agreement with a Council Planning Authority (if placed on a Title as a condition of Permit) or to reduce the construction standards required under *AS3959 Construction of Buildings in Bushfire Prone Areas* (as amended) if the bushfire risk is reduced to **BAL – LOW** or a threat no longer exists.

## Section 1

### 1. Introduction

Environmental Services and Design Pty Ltd has been engaged by PDA Surveyors, on behalf of the owners, to complete a bushfire hazard management assessment for a proposed amalgamation (subdivision) of 5 lots at 11 Little Quiggin Street and Quiggin Street Waratah.

The proposal amalgamates 4 lots known as Quiggin Street (PID 6997913) containing existing sheds with 11 Little Quiggin Street containing an existing dwelling. The proposal does not include construction of any habitable buildings or extension of the existing dwelling, does not involve the existing dwelling being closer to bushfire-prone vegetation and is wholly within the Village zone.

The purpose of this report is to document the assessment under Planning Directive 5.1 - Bushfire-Prone Areas Code and identify the bushfire attack level and any bushfire hazard management areas in accordance with AS3959-2009.

## Section 2

### 2.1 Property Details

Property Address	Quiggin Street and 11 Little Quiggin Street Waratah
Certificate of Title	54536/16, 54536/5, 54536/6, 54536/7 and 54536/8
Type of Application	Amalgamation - subdivision
Area	Lot 1 – 3,152m <sup>2</sup>
Zoning	Village
Surrounding Zoning	Village
Planning Scheme	Waratah Wynyard Interim Planning Scheme 2013
Existing land Use	Residential

### 2.2 Surrounding land use

Surrounding land uses consist of developed and vacant residential lots of between 625m<sup>2</sup> to 750m<sup>2</sup>.

### 2.3 Vegetation Assessment

Site assessment determined vegetation relative to the dwelling as low threat residential gardens for greater than 100m to the south, east and west.

The four lots to the north of the existing dwelling are grassland however the entire area is maintained by the owner/applicant in a low threat condition. Amalgamation of the lots will not alter the condition or current management of the lots.

#### 2.4 Topography

All 5 lots that are to be amalgamated to form Lot 1 are located on a level area with an upslope 200m to the north and a downslope 125m to the west.

Slope is assessed as level in all directions for a minimum of 125m.

#### 2.5 Access

There is an existing approved access to the existing dwelling from Little Quiggin Street which is a Council maintained sealed road.

The existing all-weather access driveway and cross-over has a length of 32m to the existing dwelling and sheds with width varying between 2.8m to 7.5mm and all-weather concrete construction.

As noted in section 2.6 there is no requirements to access a static water supply for firefighting purposes.

Existing driveway access complies with the requirements of Table E2 element A of Planning Directive 5.1 - Bushfire-Prone Areas Code.



Existing dwelling and access

## 2.6 Water Supply

There is a reticulated water supply to the property and there is a fire hydrant located 26m east of the existing access.



Hydrant – northern side of Little Quiggin Street

Site assessment indicates that the hydrant is within a 120m hose lay of the furthest portion of the building to be protected.

Reticulated water supply for firefighting purposes meets the requirements of Table E4 element A of Planning Directive 5.1 - Bushfire-Prone Areas Code.

## 3.0 Site Assessment

A site assessment was carried out on 16 October 2020 and a desk top study was carried out on 26 October 2020. The plan of subdivision, prepared by PDA Surveyors, is at attachment A.

Site photos showing the surrounding residential uses are below.





East



West

### 3.1 Fire Danger Index

The fire danger index as per Table 2.1 AS3959-2009 for Tasmania is 50.

BAL Assessment: 11 Little Quiggin Street Waratah

Page 11 of 14



3.2 BAL Assessment – Lot 1

Vegetation classification (refer Table 2.3)	North	<input checked="" type="checkbox"/>	South	<input checked="" type="checkbox"/>	East	<input checked="" type="checkbox"/>	West	<input checked="" type="checkbox"/>
	North East	<input type="checkbox"/>	South West	<input type="checkbox"/>	South East	<input type="checkbox"/>	North West	<input type="checkbox"/>
Group A Forest								
Group B Woodland								
Group C Scrub land								
Group D Scrub								
Group E Mallee/Mulga								
Group F Rainforest								
Group G Grassland								
Low threat vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	
Exclusions	Insert relevant exclusion paragraph descriptor from clause 2.2.3.2							
	f		e & f		e & f		e & f	
Prevailing winds	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input checked="" type="checkbox"/>	
Distance to classified vegetation	Show distance in metres							
	60m		>100m		>100m		>100m	
Effective Slope	Upslope							
Slope under the classified vegetation	Upslope/0° <input checked="" type="checkbox"/>		Upslope/0° <input checked="" type="checkbox"/>		Upslope/0° <input checked="" type="checkbox"/>		Upslope/0° <input checked="" type="checkbox"/>	
	North <input checked="" type="checkbox"/>		South <input checked="" type="checkbox"/>		East <input checked="" type="checkbox"/>		West <input checked="" type="checkbox"/>	
	North East <input type="checkbox"/>		South West <input type="checkbox"/>		South East <input type="checkbox"/>		North West <input type="checkbox"/>	
	Downslope							
	>0 to 5 <input type="checkbox"/>		>0 to 5 <input type="checkbox"/>		>0 to 5 <input type="checkbox"/>		>0 to 5 <input type="checkbox"/>	
	>5 to 10 <input type="checkbox"/>		>5 to 10 <input type="checkbox"/>		>5 to 10 <input type="checkbox"/>		>5 to 10 <input type="checkbox"/>	
	>10 to 15 <input type="checkbox"/>		>10 to 15 <input type="checkbox"/>		>10 to 15 <input type="checkbox"/>		>10 to 15 <input type="checkbox"/>	
	>15 to 20 <input type="checkbox"/>		>15 to 20 <input type="checkbox"/>		>15 to 20 <input type="checkbox"/>		>15 to 20 <input type="checkbox"/>	
BAL Value for each side of site	<b>Low</b>		<b>Low</b>		<b>Low</b>		<b>Low</b>	

### 3.3 Risk Assessment

The lot is wholly within the village zone and the proposal does not result in the existing dwelling being closer to bushfire-prone vegetation.

Surrounding residential uses, roads and management of the lots to be amalgamated with the existing dwelling are all assessed as low threat vegetation.

Existing access complies with the requirements of Table E2 element A of Planning Directive 5.1 - Bushfire-Prone Areas Code.

Reticulated water supply for firefighting purposes complies with Table E4 element A of Planning Directive 5.1 - Bushfire-Prone Areas Code.

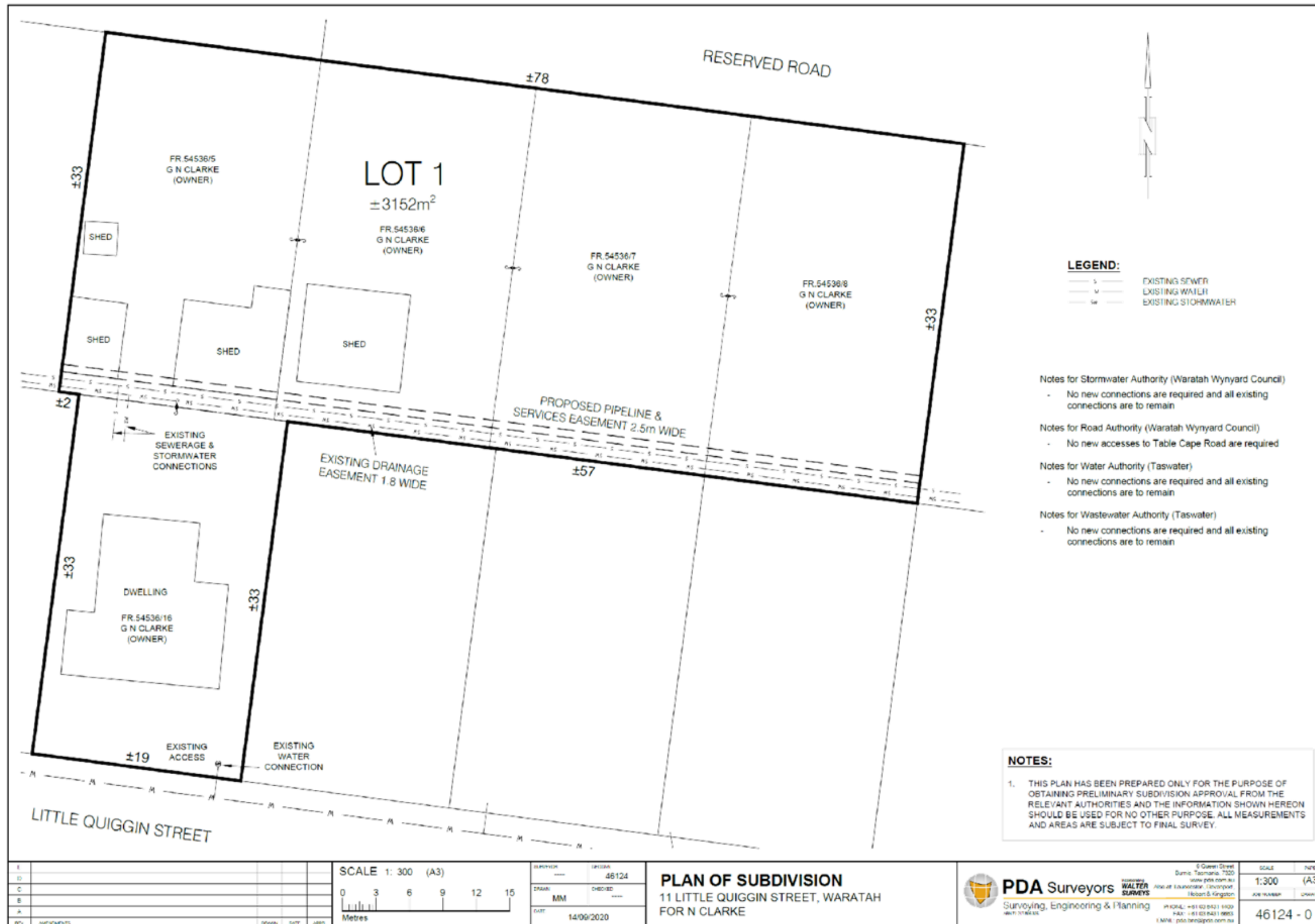
### 3.4 Conclusion

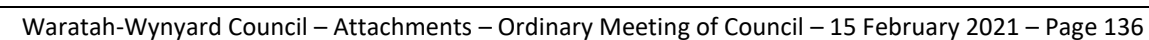
Having regard to all the applicable standards there is an insufficient increase in risk from bushfire to warrant the provision of hazard management areas as part of the amalgamation subdivision.

### 4.0 Hazard Management Plan

Based on the risk assessment of BAL Low and the assessment of an insufficient increase in risk from bushfire a hazard management plan is not required.

Attachment A





**Rebecca Plapp**

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**From:** Lindell singe <linsinge@hotmail.com>  
**Sent:** Wednesday, 2 December 2020 4:35 PM  
**To:** Council  
**Subject:** SD 2019, 11 Little Quiggin Street Waratah.

Greetings Waratah-Wynyard Council members,

I am appealing against the proposal of consolidating 5 titles into 1, as I have been informed that the owner of 11 Little Quiggin street allegedly intends to build holiday units on the lots at the rear of his properties.

I believe that the owner of 11 Little Quiggin Street is only to save costs for his own financial benefit and this will impose on the privacy of householders in the vicinity of the properties.

Furthermore: he is a character of "it's his way or no way attitude."

Regards

Lyndell Singe  
owner 9 Little Quiggin Street, Waratah.  
linsinge@hotmail.com  
0488100756





Enquiries: Development & Regulatory Services  
Phone: (03) 6443 8333 option 2  
Our Ref: 6997913 & SD 2109

23 November 2020

Attn: Mr J Magee  
PDA Surveyors Pty Ltd  
6 Queen Street  
BURNIE TAS 7320  
Via email: [john.magee@pda.com.au](mailto:john.magee@pda.com.au)

Dear Mr Magee

**ADDITIONAL INFORMATION REQUIRED**  
**DEVELOPMENT APPLICATION – Subdivision (consolidate 5 titles into 1)**  
**11 Quiggin Street WARATAH**

I advise that under *Section 54 of the Land Use Planning and Approvals Act 1993* TasWater seeks further information in relation to application SD 2109 for a Subdivision (Consolidate 5 titles into 1) at 11 Quiggin Street WARATAH. To progress the assessment of your application, please respond to the Request for Additional Information enclosed in this letter.

Your application has been placed on hold until all relevant documentation has been received to the satisfaction of TasWater.

If you have any queries or require further information, please do not hesitate in contacting Council's Town Planners on (03) 6443 8308.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Ashley Thornton'.

Ashley Thornton  
**MANAGER DEVELOPMENT & REGULATORY SERVICES**  
Enc.

**Waratah Wynyard Council**


21 Saunders Street (PO Box 168) Wynyard Tasmania 7325

P: (03) 6443 8333 | [www.warwyn.tas.gov.au](http://www.warwyn.tas.gov.au) | E: [council@warwyn.tas.gov.au](mailto:council@warwyn.tas.gov.au)



## Request for Additional Information

### For Planning Authority Notice

Council Planning Permit No.	SD 2109	Application date	16/11/2020
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2020/01925-WWC	Date of response	20/11/2020
TasWater Contact	Amanda Craig/David Boyle	Phone No.	0448 469 386
<b>Response issued to</b>			
Council name	WARATAH WYNYARD COUNCIL		
Contact details	council@warwyn.tas.gov.au		
<b>Development details</b>			
Address	QUIGGIN ST, WARATAH	Property ID (PID)	6997913
Description of development	Consolidation of 5 titles into 1	Stage No.	
<b>Additional information required</b>			
<p>Additional information is required to process your request. To enable assessment to continue please submit the following:</p> <ol style="list-style-type: none"> <li>1. TasWater records indicate a DN150mm sewer main is located in the vicinity of the proposed amalgamated titles. (refer to attached TasWater Infrastructure Plan). Please submit amended plans which show the following: <ol style="list-style-type: none"> <li>a. The exact location of the DN150mm diameter sewer main and easement (if applicable) accurately dimensioned on the plans relative to both the boundaries and the proposed amalgamated titles.;</li> <li>b. A note added on the plan stating how the pipe was located (eg. TasWater infrastructure located on site by private contractor/registered surveyor etc.).</li> <li>c. Drawing title block(s) amended to show revision number, revision date &amp; revision description;</li> </ol> </li> <li>2. Please provide a concept servicing plan for services which shows the following: <ol style="list-style-type: none"> <li>a. The exact location of the existing properties sewer connection(s);</li> <li>b. Indicate the sewer connection that is/are required to be capped, I think it is only one for the rear lot.</li> </ol> </li> </ol>			
			





- c. Indicative location of proposed TasWater easements in accordance with the relevant TasWater supplement (outline the minimum widths); this will be 3m not 2.5m
  - d. The required location of property water & sewer connection(s) accurately dimensioned relative to the existing/proposed boundaries noting that:
    - i. One sewer and one water property service connection must be provided to each lot;
    - ii. The property water service for each lot must be sized appropriately and located just inside the property boundary at the road frontage in accordance with the standard property connection details contained in TasWater's Water Metering Guidelines;
    - iii. The sewer property service connections for each lot must be sized appropriately and must be located at the low point of the lot just inside the property boundary;
    - iv. Redundant connections must be shown to be cut and sealed.
3. TasWater requires a concept servicing plan to be submitted which shows the exact location (either suitably dimensioned or by notation) and suitable details of proposed or modified water and/or sewer connections.
- Reason for request:** To allow TasWater's contractors to accurately quote and carry out the works when an application for new connections is submitted.

#### Advice

##### Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- A permit is required to work within TasWater's easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater
- TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit [www.taswater.com.au/Development/Service-location](http://www.taswater.com.au/Development/Service-location) for a list of companies
- TasWater will locate residential water stop taps free of charge
- Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

To view our assets, all you need to do is follow these steps:

- 1) Open up webpage - <http://maps.thelist.tas.gov.au/listmap/app/list/map>
- 2) Click 'Layers'
- 3) Click 'Add Layer'
- 4) Scroll down to 'Infrastructure and Utilities' in the Manage Layers window, then add the appropriate layers.
- 5) Search for property
- 6) Click on the asset to reveal its properties

##### Authorised by

Jason Taylor

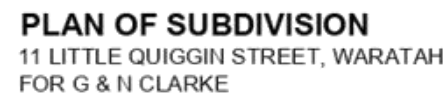
Development Assessment Manager



TASWATER CONTACT DETAILS			
Email	development@taswater.com.au	Web	www.taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001		

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## Submission to Planning Authority Notice

Council Planning Permit No.	SD 2109	Council notice date	16/11/2020
<b>TasWater details</b>			
TasWater Reference No.	TWDA 2020/01925-WWC	Date of response	27/01/2021
TasWater Contact	David Boyle	Phone No.	0436 629 652
<b>Response issued to</b>			
Council name	WARATAH WYNYARD COUNCIL		
Contact details	council@warwyn.tas.gov.au		
<b>Development details</b>			
Address	QUIGGIN ST, WARATAH	Property ID (PID)	6997913
Description of development	Consolidation of 5 titles into 1		
<b>Schedule of drawings/documents</b>			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
PDA Surveyors	46124-1	A	19/01/2021
<b>Conditions</b>			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008</i> (TAS) Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p><b>FINAL PLANS, EASEMENTS &amp; ENDORSEMENTS</b></p> <ol style="list-style-type: none"> <li>Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made. <i>Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.</i></li> <li>Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions.</li> <li>Prior to the issue of a TasWater Consent to Register a Legal Document, the applicant must submit a .dwg file, prepared by a suitably qualified person to TasWater's satisfaction, showing: <ol style="list-style-type: none"> <li>the exact location of the existing sewerage infrastructure,</li> <li>the easement protecting that infrastructure.</li> </ol> <p>The developer must locate the existing TasWater infrastructure and clearly show it on the .dwg file. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost.</p> </li> </ol> <p><b>DEVELOPMENT ASSESSMENT FEES</b></p> <ol style="list-style-type: none"> <li>The applicant or landowner as the case may be, must pay a development assessment fee of \$211.63 and a Consent to Register a Legal Document fee of \$149.20 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater. The payment is required within 30 days of the issue of an invoice by TasWater.</li> </ol>			





Advice			
<p><b>General</b></p> <p>For information on TasWater development standards, please visit  <a href="http://www.taswater.com.au/Development/Development-Standards">http://www.taswater.com.au/Development/Development-Standards</a></p> <p>For application forms please visit <a href="http://www.taswater.com.au/Development/Forms">http://www.taswater.com.au/Development/Forms</a></p>			
Declaration			
<p>The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.</p>			
<p><b>Authorised by</b></p>  <p><b>Jason Taylor</b>  Development Assessment Manager</p>			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

## Agreement for Extension of Time

In accordance with Section 57 (6) of the *Land Use Planning and Approvals Act 1993* I

PDA Surveyors Pty Ltd

of

6 Queen Street  
BURNIE TAS 7320

hereby grant the Planning Authority an extension of time until the 25 day of January 2021,

Ref. No. 6997913 & SD 2109

Signed  (Applicant)

SOHN MAGEE (Applicant)

14 / 12 / 2020 (Date)

Signed 

ASHLEY THORNTON, *per Council delegation*

(Manager Development & Regulatory Services)

17/12/2020 (Date)

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## DRAFT East Wynyard Foreshore Master Plan

### Feedback Received During Consultation

Project	East Wynyard Foreshore Master Plan (EWyF MaP)
Consultation Purpose	Community Consultation & Feedback gathering ideas and concerns over the East Wynyard Foreshore Master Plan.
Consultation Period	13 October 2020 to 03 November 2020
Consultation Length	3 weeks
Total Feedback Received	98

NO	DATE	COMMENTS	RECEIVED VIA
1.	13 Oct 2020	<p>I believe introducing more park area like you have just done up the eastern end near Kimmies Takeaway would benefit the town and community. Make it like Ulverstone foreshore and park area.</p> <p>Look how many people are enjoying the new park you have just installed... it's packed with people most days!</p> <p>Maybe introduce skatepark, Pump track etc for the bike riders and skaters, plus more spread out park facilities along that whole area.</p> <p>Fitness activities along the area.</p> <p>BBQs and facilities for families to get out and enjoy the foreshore.</p> <p>Signs and information areas regarding the town's history for out of towners etc.</p>	Email
2.	13 Oct 2020	<p>I suggest caution to ensure that infrastructure is not created simply because a small market is held two mornings per month. Success of the market does not rely on infrastructure, but rather, a wider variety of quality stalls. Not sure how to suggest that improvement be made but we need to remember the market is a only small user of the space time-wise. I suspect a bona fide business case for the market would be extremely difficult to develop.</p> <p>There is no evidence as I am aware that there needs to be change.</p> <p>Simply put, focus ought to be on creating better access from the grassed foreshore area to the beach and maintaining the beach.</p> <p>Scope to improve carparking at the new, highly successful playground.</p> <p>B-A-N VEHICLES FROM THE BEACH!</p>	Email

NO	DATE	COMMENTS	RECEIVED VIA
3.	14 Oct 2020	I think there needs to be more SUN SAFE seating and even a couple more SUN SAFE table/benches spread along the foreshore area for people to use for picnics during summer, including rubbish bins 😊	Email
4.	17 Oct 2020	As a regular Wynyard Foreshore parkrun participant and volunteer, it would be great if there was a solid path (that didn't cross car parks) from the start to turn around position. This would encourage participation by all abilities that are currently excluded by the beach sections of the course. I am sure the volunteers and participants would also appreciate a table and small shelter at the start that no doubt would be utilised by other visitors to the area.	Email
5.	19 Oct 2020	I would like the trees planted back on the foreshore to create shade and beauty back to the area, the North Fork Pines would be suitable as there are already two there. Summer is coming and they are becoming hotter every year, last year the grass died quickly, and it was dusty and ugly. The past trees created shade and held the soil in place. Please replace them as promised. We do not need more parking as that is being created by the ugly tarmac at the restaurant and yacht club. A restaurant that should not be created in first place.	Email
6.	21 Oct 2020	Thank you for the opportunity as a rate payer and foreshore resident to have constructive input into the "master plan" We are blessed with the natural beauty of our environment, let's share it with as many people as possible, locals and visitors alike. The vegetation which runs the length of the foreshore has become very tall and scraggly. It blocks the vista, encroachers onto the path at times and is frankly, unsightly. Cut the boobiallas back to 1 or 1 1/2 metres in height, allowing walkers, cyclists, runners, dog walkers, pram pushers and others to take in and enjoy the scenery. More park benches for folk to sit and soak up the "serenity". I love sitting on a park bench and reading the sometimes present memorial plaque, remembering a loved one. It reminds me that this little patch of the world has been cherished by so many generations of locals. Encourage the dedication of seats and benches. One or two BBQs along the foreshore would be great. Finally, grade/rake the high tide sand to clear away debris off the beach on a regular basis. Thanking you	Email
7.	24 Oct 2020	In regards to the Foreshore Market. It would be good if there were paved/concreted flat areas for coffee van / food vans to operate in all weather conditions so that the grassed area does not become to look untidy from these trying to park up. With additional power outlets along the market site to better utilise the area for different types of stalls whether it be food, buskers, other entertainment etc. Shade sails of different shapes/colours to partly cover areas where people can sit to further enjoy this area all year round.	Email

NO	DATE	COMMENTS	RECEIVED VIA
8.	26 Oct 2020	Since returning from WA after 10yrs abroad I have a new appreciation of the wonderful state we live in. Wynyard is located in a beautiful spot and we are spoiled for choice along the NW coast line. One thing that lacks all along this coastline is coffee stops. We all love to get out during daylight savings and walk the dogs, ride bikes with the kids and we all love a pit stop for coffee or juice. I think that foreshore would benefit having a coffee hut along the way.	Email
9.	26 Oct 2020	I would like to see more seating and also tables and benches for people to eat at. Also more play equipment, exercise equipment. A new skate park would be fantastic, similar to St Helens Skate Park. Thanks	Email
10.	26 Oct 2020	I think it would be great if council put in an outdoor basketball ring and pump track for the kids.	Email
11.	27 Oct 2020	Dear Sir/Madam, I am writing on behalf of [another community member]-possibly East Wynyard's Oldest living resident in this area regarding the above [East Wynyard Foreshore Master Plan]. Over decades and decades she has watched trees, scrub and bushes grow out of control blocking her once magnificent view of Table Cape, the beacon and boats going up the river, she cannot see the tip of the cape from her elevated lounge room as this growth is blocking her view. Many years ago I wrote a open letter to Council/Mr Chalk, but nothing was ever done to clear and keep this growth under control- I believe if this growth was cut back to a height of 3 to 4 feet from the old swimming pool to new play ground you would still have the tree roots preventing sand/soil erosion. Alternately Remove the Lot and do what Council has done at Camp Creek with rocks and boulders in a straight line from Inglis end of caravan park to behind Kimmies, put in a few wind break areas another viewing platform and a bbq area or two for locals and tourists alike to enjoy? Looking forward to what Council decides.	Email
12.	29 Oct 2020	Could you please do something about the frosty, slippery boardwalk. The foreshore view is what people walk on the boardwalk for. Having to walk around to to the Highway, instead of the boardwalk, defeats the purpose of having a boardwalk. It has been far too dangerous for far too long	Email

NO	DATE	COMMENTS	RECEIVED VIA
13.	29 Oct 2020	<p>IDEAS</p> <p>Story Boards be placed along the foreshore from Port Creek to Guttridge Gardens highlighting our history, agriculture, unique interest points (not the toilet with a view!) Old Port, all along the Diversity in Abundance theme.</p> <p>Take down the now unnecessary netting at the Market.</p> <p>Spray the weed infestation along the foreshore and plant some trees to replace the old pines.</p> <p>Build beach access and disability ramp near the playground; NB concerns below re: vehicles on the beach Celebrate our festivals e.g. Tulip, all along the foreshore, not just the CBD.</p> <p>CCTV at the playground is a MUST Install motion sensor lighting on toilet blocks rather than the existing dusk to dawn programing affecting residences.</p> <p>CONCERNS</p> <p>Vehicular traffic on the beach from OLD Port boat ramp must be restricted to launch and retrieve. Kids now run from the playground through the Boobialla onto the beach. Any Risk Management assessment will reveal it is an accident waiting to happen with a hoon racing up and down the beach. It will only become worse once the playground is completed.</p> <p>Camp Creek works MUST include dredging the creek, the water shear theory just wont work.</p>	Email
14.	30 Oct 2020	<p>Quality of joints in pavement needs addressing as big bumps on mobility scooter. Also cross over at the two parking area will not allow those with disability to partake in parkrun as forced to the beach.</p> <p>Its lovely to look at the sea view. Trees stop this currently. Not to say all need to go but managed.</p>	Email
15.	3 Nov 2020	<p>East Wynyard Foreshore Masterplan Feedback</p> <ol style="list-style-type: none"> <li>1. Limit Expenditure, maintain existing infrastructure and natural values. Look elsewhere to spend significant funds!</li> <li>2. Existing users already use the area for exercise and foreshore markets. No substantial changes must occur in this area that significantly displaces these existing users.</li> <li>3. Re-vegetate sections of the foreshore to enhance the natural values.</li> <li>4. Incorporate interpretive signage along the foreshore walk, which details the history and culture of the Wynyard / Table Cape area. Page 8 of the Waratah-Wynyard Council Annual Report 2019-2020 is a simple starting point. Work with community/local history groups to come up with information and signage concepts. KEY OBJECTIVE: Consultation!</li> <li>5. Maintain existing play space near toilet/change room facilities until an alternative play space is provided for families in Gutteridge Gardens.</li> </ol>	Email



NO	DATE	COMMENTS	RECEIVED VIA
16.	3 Nov 2020	<p>We see people walking across the nature strip regularly from the corner of Mount Hicks Rd along Old Bass Highway to the Port Road Bridge where there is currently no path.</p> <p>We think having the foreshore Pathway is awesome and will use it ourselves regularly but feel that there are still a lot of pedestrians who don't seem to enjoy walking along side the beach, therefore we wish to request the path be completed here. Previously living in Hobart, we used the bike/running path there and found that we had to stop to give way to vehicles all the time at road crossings. Our suggestion would be that the paths that are currently there, which go through several car park spaces, be moved closer to the foreshore therefore, it would be a continuous bike/running path that no one would need to be concerned with giving way to vehicles. This would also enhance Park Run which does need to veer off to the beach because of the vehicles. It may entice more of the community to be active, if they know they can run along there with a pram etc not needing to have to do part of a run on sand as compared to other park runs. Knowing the new business will be at the Yacht Club eventually, will/should also entice more clientele there after a great Park Run event or just using the bike track itself.</p>	Email
17.	3 Nov 2020	<p><u>Ideas:</u> The sea view is very atmospheric. A kiosk area (ice creams e.g.) + mini golf (put put) facility would be nice.</p> <p><u>Concerns:</u> Prevent future hi rise buildings or big “chunky” buildings from blocking the sea view too much as seen from e.g. the road when driving. (as happened in Burnie)</p> <p><u>Permission to reprint:</u> No</p>	Drop Box
18.	3 Nov 2020	<p><u>Ideas:</u> The market is great for the town. Shame the trees had to go. Need to get rid of the middle car park opposite Bowick St. widen the road along the foreshore maybe put parking at a 45° angle along the seaside of the road.</p> <p><u>Concerns:</u> Make a safe path so the Parkrun people don't have to run on the beach.</p> <p><u>Permission to reprint:</u> Yes</p>	Drop Box

NO	DATE	COMMENTS	RECEIVED VIA
19.	3 Nov 2020	<p><u>Ideas:</u> More rubbish bins along the beach. At Glenelg (Adelaide) there is a jetty with wires above that the wind blow through and it makes music like a harp. Some wind music instruments/constructions somewhere?</p> <p><u>Concerns:</u></p> <p><u>Permission to reprint:</u> Yes</p>	Drop Box
20.	3 Nov 2020	<p><u>Ideas:</u> Nature is beautiful and rare</p> <p><u>Concerns:</u> Leave undeveloped please</p> <p><u>Permission to reprint:</u> Yes</p>	Drop Box
21.	3 Nov 2020	<p><u>Ideas:</u> Coastal pathway</p> <p><u>Concerns:</u> Concrete on sand, stop doing it. Destruction of native vegetation.</p> <p><u>Permission to reprint:</u> Yes</p>	Drop Box

NO	DATE	COMMENTS	RECEIVED VIA
22.	3 Nov 2020	<p><u>Ideas:</u></p> <ul style="list-style-type: none"> <li>We need a water bubbler <u>outside</u> of the new playground. Lots of people run along that path.</li> <li>The footpath should run <u>behind</u> the car parks. This would allow parkrun to properly utilise this area.</li> <li>Picnic tables should be dotted right along that area through to Port Rd.</li> <li>Plan it to encourage more health and recreation activities</li> </ul> <p><u>Concerns:</u></p> <ul style="list-style-type: none"> <li>This area is used for recreation for man special needs people &amp; their carers. An activity area that caters for them?</li> <li>BBQ's situated between playground and old pool site.</li> </ul> <p><u>Permission to reprint:</u></p> <p>Yes</p>	Drop Box
23.	3 Nov 2020	<p><u>Ideas:</u></p> <p>Cat Show - &lt;Drawing&gt;</p> <p><u>Concerns:</u></p> <p>Dogs - &lt;Drawing&gt;</p> <p><u>Permission to reprint:</u></p> <p>Yes</p>	Drop Box (pub)
24.	3 Nov 2020	<p><u>Ideas:</u></p> <p>Sick burnouts - &lt;Drawing&gt;</p> <p><u>Concerns:</u></p> <p>Police 😞 - &lt;Drawing&gt;</p> <p><u>Permission to reprint:</u></p> <p>Yes</p>	Drop Box (pub)

NO	DATE	COMMENTS	RECEIVED VIA
25.	3 Nov 2020	<u>Ideas:</u> Cucumber with wheels - <Drawing> <u>Concerns:</u> No pickles <u>Permission to reprint:</u> Yes	Drop Box (pub)
26.	5 Nov 2020	A member of the public expressed her idea that the 'Boobiallas' along the waterfront might be better maintained as a "motor bonnet height" hedge to allow people to see the views better. She noted that they have done this in Stanley and that visitors to the area really enjoy it. She also mentioned that Waratah-Wynyard may be losing visitors because of the lack of view and that clipping back the "Boobis" could help bring people back to the area.	Phone

NO	DATE	COMMENTS	RECEIVED VIA
27.	12 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Weekly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Skate Park	Youth Survey
28.	12 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Seasonal <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey

NO	DATE	COMMENTS	RECEIVED VIA
29.	12 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Seasonal <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u>	Youth Survey
30.	12 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Slippery slide or a waterslide like the Ulverstone waterslide	Youth Survey
31.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey
32.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
33.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A few times a week <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey

NO	DATE	COMMENTS	RECEIVED VIA
34.	13 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Monthly</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
35.	13 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Seasonal</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
36.	13 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Never</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> No</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey
37.	13 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Seasonal</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey
38.	13 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Seasonal</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey

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NO	DATE	COMMENTS	RECEIVED VIA
39.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Seasonal <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
40.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A few times a week <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> In built trampoline	Youth Survey
41.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Seasonal <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> In ground trampoline	Youth Survey
42.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Skate park	Youth Survey
43.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> Skate park	Youth Survey

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NO	DATE	COMMENTS	RECEIVED VIA
44.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> Half court basketball court	Youth Survey
45.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Never <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> No <u>If you could add one activity at the foreshore, what would it be?</u>	Youth Survey
46.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Never <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey
47.	13 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey
48.	14 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Never <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey

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NO	DATE	COMMENTS	RECEIVED VIA
49.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Seasonal</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Pump track would be number one, but an outdoor gym is a great idea, but it would need to be a "proper" gym, not one of those lightweight body weight ones, like the one at Somerset.</p>	Youth Survey
50.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Not often, maybe 2-3 times a year</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
51.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Weekly</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey
52.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> A few times a week</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
53.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> A couple times a month</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> No</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey

NO	DATE	COMMENTS	RECEIVED VIA
54.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Monthly</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey
55.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Weekly</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey
56.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> A few times a week</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
57.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Rarely ever</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> maybe</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
58.	14 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Never</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)</p>	Youth Survey

NO	DATE	COMMENTS	RECEIVED VIA
59.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Seasonal <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> No <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
60.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A few times a week <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> No <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey
61.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Seasonal <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Maybe <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
62.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
63.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey

NO	DATE	COMMENTS	RECEIVED VIA
64.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey
65.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> Monthly <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> "Pump track" (riding track for bikes, scooters and skateboards)	Youth Survey
66.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> No <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
67.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym	Youth Survey
68.	15 Oct 2020	<u>How often do you use the East Wynyard Foreshore?</u> A couple times a month <u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes <u>If you could add one activity at the foreshore, what would it be?</u> maccas	Youth Survey

NO	DATE	COMMENTS	RECEIVED VIA
69.	15 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> A couple times a month</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor basketball court</p>	Youth Survey
70.	15 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> A couple times a month</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
71.	15 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Seasonal</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
72.	15 Oct 2020	<p><u>How often do you use the East Wynyard Foreshore?</u> Never</p> <p><u>Would you use the East Wynyard Foreshore if there was more for you to do?</u> Yes</p> <p><u>If you could add one activity at the foreshore, what would it be?</u> Outdoor gym</p>	Youth Survey
73.	08 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 2/5</p> <p><u>What do you like about the reserve?</u> Very few structures on the seaward side of the road.</p> <p><u>What don't you like about the reserve?</u> Masses of weeds, degradation of landscape, litter and people walking dogs.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Plant more native trees?</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p>	Survey



NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What concerns you the most about the future of the reserve?</u> Protecting flora and/or fauna</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Not seeing weeds or litter or dogs;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	
74.	13 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> Remains largely untouched natural foreshore, but with the great amenity of the concrete pathway and availability for the fortnightly market.</p> <p><u>What don't you like about the reserve?</u> Beach access points are too few, made worse with the semi-permanent erection of the COVID wall!</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Completely close Old Bass Highway to through traffic on market mornings.</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Over development with extensive parking, used two mornings per months.</p> <p><u>What is your favourite activity in the reserve currently?</u> Relaxing</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Easier and more access to the beach.;</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>Like "Pump Track"? ... but how is that different to the path already in place?;</p>	
75.	13 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> northerly aspect and close to the beach without highway close by.</p> <p><u>What don't you like about the reserve?</u> The carparks that are so close to the beach. Users have to cross the carparks which are roads to continue along the foreshore</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Push a solid walking, riding, running path closest to the beach away from the carparks and road. Move the carparks back closest and parallel with the road.</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Safety of users. A solid path all the way through the foreshore that avoids the need to cross the entry to the carparks would be great.</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> A small shelter/seat at the start of the parkrun course for the volunteers and the gear. small 1km markers on the ground along the parkrun course. ;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards);</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
76.	13 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> The open space. That people can enjoy.</p> <p><u>What don't you like about the reserve?</u> The market that is held there. It creates lots of problems for drivers comes out of the roads and cars parked either side of the road makes for lots of issues. I suggest you use the gardens were people can park in town and walk to the gardens.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	Survey
77.	13 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> The scenery</p> <p><u>What don't you like about the reserve?</u> Narrow path when sharing with cyclists. Illegal clearing of native vegetation.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy art, history or sculptures;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>More diverse exercise equipment;</p>	
78.	13 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> Clear pathway, access to beach. The natural vegetation along the foreshore. Exercise equipment. The fact that it connects a long stretch from town right out to east Wynyard. That it is utilised by the market/Parkrun and so many of our community regularly.</p> <p><u>What don't you like about the reserve?</u> While I do like the new playground, I don't like the fact that it is completely plastic and primary colours. And in no way makes any connection to the environment that it is set in. I think future developments should make use of natural materials, plants, possibly inviting people/children to lead out to the natural playground of our beach?</p> <p><u>If you could change one thing about the reserve, what would you do?</u> More native vegetation. Small ground covers, grasses and a bigger natural buffer/play space to the sea.</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Creating a space where we can access and be surrounded by nature. For the health and we'll bring of all.</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What is your favourite activity in the reserve currently?</u> All the above (Picknicking, Relaxing, Using the walking track, Using the play equipment, Using the exercise equipment, Attending the foreshore market)</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy art, history or sculptures;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards);</p>	
79.	14 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> The walking path and natural ocean view</p> <p><u>What don't you like about the reserve?</u> The colours of the toilet. They are terrible ... would like to see a much more natural colour palette and more 'green' approach rather than a plastic lick bright appo</p> <p><u>If you could change one thing about the reserve, what would you do?</u></p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Maybe a better designed bbq area that maybe has decking onto the beach. But still sheltered;</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I'm not sure the language at the skate park is great next to a young person's playground;</p>	
80.	14 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 5/5</p> <p><u>What do you like about the reserve?</u></p> <p><u>What don't you like about the reserve?</u></p> <p><u>If you could change one thing about the reserve, what would you do?</u> Wouldn't change anything</p> <p><u>What would you prefer the look and feel of the reserve to be?</u></p> <p><u>What concerns you the most about the future of the reserve?</u></p> <p><u>What is your favourite activity in the reserve currently?</u> Attending the foreshore market</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens; Enjoy art, history or sculptures; Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	Survey
81.	14 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> It's close position to the beach</p> <p><u>What don't you like about the reserve?</u> There doesn't feel like there's much to do</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>If you could change one thing about the reserve, what would you do?</u> Improve activities for young people</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Vibrant/Modern - Infrastructure choices are bright and contemporary, and the plants selected for the area include colour</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing the current amount of interesting things in the area</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the play equipment</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards); More diverse exercise equipment;</p>	
82.	14 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> Very beautiful area and the walking track is really nice.</p> <p><u>What don't you like about the reserve?</u></p> <p><u>If you could change one thing about the reserve, what would you do?</u> Improve the use of the reserve for pedestrians</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> MTB pump track;</p>	Survey



NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards); More diverse exercise equipment;</p>	
83.	17 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> Playground, toilets</p> <p><u>What don't you like about the reserve?</u> Wider pedestrian path that didn't cross car paths</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Improve the use of the reserve for pedestrians</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Pedestrian safety</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy art, history or sculptures;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	Survey
84.	18 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> Foreshore Market</p> <p><u>What don't you like about the reserve?</u> Lack of shade, lack of tree's</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>If you could change one thing about the reserve, what would you do?</u> lack of tree's</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> tree's to replace the ones cut down</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Attending the foreshore market</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy art, history or sculptures; Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	
85.	24 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> The walking and cycling</p> <p><u>What don't you like about the reserve?</u> Lots of unused space</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Maintenance (lack thereof)</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the play equipment</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Attend more public events;</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards); More diverse exercise equipment;</p>	
86.	24 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> Proximity to the beach</p> <p><u>What don't you like about the reserve?</u> Nothing really there. Not very pretty. Was nicer before the big trees were cut down</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Protecting flora and/or fauna</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards);</p>	Survey
87.	24 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 1/5</p> <p><u>What do you like about the reserve?</u> Nothing</p> <p><u>What don't you like about the reserve?</u></p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Maintenance (lack thereof)</p> <p><u>What is your favourite activity in the reserve currently?</u> Relaxing</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	
88.	24 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> The walking track/footpath, the playground, seating areas, the Sunday market and picnic areas.</p> <p><u>What don't you like about the reserve?</u> The footpath needs to be wider, have a bike and walk area. More play equipment near the toilets. More seating.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Improve the use of the reserve for pedestrians</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Protecting flora and/or fauna</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the play equipment</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	
89.	24 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> Easy beach access, dog friendly beach, the markets, pedestrian friendly, uninterrupted ocean views</p> <p><u>What don't you like about the reserve?</u> Needs more shade trees,</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Walking the dog</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	Survey
90.	26 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> Flat walking/cycle path. Nice large grassy areas</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What don't you like about the reserve?</u></p> <p><u>If you could change one thing about the reserve, what would you do?</u> Improve activities for young people</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>Skate park; "Pump track" (riding track for bikes, scooters and skateboards); More diverse exercise equipment;</p>	
91.	26 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> I like that the area is clear and open but I like that the native vegetation has been retained along the beach. I like that it has the ability to be a multi-use area.</p> <p><u>What don't you like about the reserve?</u> n/a</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> I would love to see a blend of bright and contemporary infrastructure set in juxtaposition to a native and natural backdrop</p> <p><u>What concerns you the most about the future of the reserve?</u> Protecting flora and/or fauna</p> <p><u>What is your favourite activity in the reserve currently?</u> Attending the foreshore market</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens; Enjoy art, history or sculptures; Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	
92.	26 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 3/5</p> <p><u>What do you like about the reserve?</u> The pathway and new park</p> <p><u>What don't you like about the reserve?</u> I don't like that I can't enter Parkrun with my pram like I can with the burnie Parkrun due to the fact the course needs to go onto the beach. It would be great if the path could go around the car parks with no need to cross roads. Also safer for children riding bikes as well with no roads to cross. The grassed area where the foreshore market also needs an overhaul. It is uneven &amp; not well maintained.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Improve the use of the reserve for pedestrians</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Vibrant/Modern - Infrastructure choices are bright and contemporary, and the plants selected for the area include colour</p> <p><u>What concerns you the most about the future of the reserve?</u> Maintenance (lack thereof)</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u></p>	Survey



NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards);</p>	
93.	29 Oct 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 5/5</p> <p><u>What do you like about the reserve?</u> The openness &amp; view of Table Cape.</p> <p><u>What don't you like about the reserve?</u> Lack of seating areas &amp; keep left arrows on footpaths directing foot traffic.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Vibrant/Modern - Infrastructure choices are bright and contemporary, and the plants selected for the area include colour</p> <p><u>What concerns you the most about the future of the reserve?</u> Pedestrian safety</p> <p><u>What is your favourite activity in the reserve currently?</u> Running</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>I don't believe any of these options are suitable;</p>	Survey
94.	02 Nov 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> The walking track</p> <p><u>What don't you like about the reserve?</u> Board walk area appears to be quite over grown. Board walk showing signs of wear.</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Maintenance (lack thereof)</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>"Pump track" (riding track for bikes, scooters and skateboards);</p>	
95.	02 Nov 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 2/5</p> <p><u>What do you like about the reserve?</u> Size</p> <p><u>What don't you like about the reserve?</u> Not safe for kids. Not enough parking off the road. Market parking makes the whole toad very unsafe for people passing through. Trees block ocean views.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Vibrant/Modern - Infrastructure choices are bright and contemporary, and the plants selected for the area include colour</p> <p><u>What concerns you the most about the future of the reserve?</u> Pedestrian safety</p> <p><u>What is your favourite activity in the reserve currently?</u> Attending the foreshore market</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>More diverse exercise equipment;</p>	
96.	02 Nov 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> The flat path</p> <p><u>What don't you like about the reserve?</u> Groups standing and chatting in the middle of the path during the market. Also dogs.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Have more places to sit and enjoy the surroundings</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Vibrant/Modern - Infrastructure choices are bright and contemporary, and the plants selected for the area include colour</p> <p><u>What concerns you the most about the future of the reserve?</u> Maintenance (lack thereof)</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy art, history or sculptures; Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u> I don't believe any of these options are suitable;</p>	Survey
97.	02 Nov 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> Good playground and walkways</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What don't you like about the reserve?</u> The path should be along the foreshore like in Somerset. It's dangerous having the path going through the car parks especially if parents have young kids on bikes.</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Improve the use of the reserve for pedestrians</p> <p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Pedestrian safety</p> <p><u>What is your favourite activity in the reserve currently?</u> Using the walking track</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Enjoy more public gardens;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>Skate park; "Pump track" (riding track for bikes, scooters and skateboards); More diverse exercise equipment;</p>	
98.	03 Nov 2020	<p><u>What is your overall rating of the East Wynyard Foreshore area?</u> 4/5</p> <p><u>What do you like about the reserve?</u> Where there are clear views of the ocean and the naturalistic shoreline. Can't go past the old theme of 'where the green meets the blue'.</p> <p><u>What don't you like about the reserve?</u> Understand its 'COVID temporary' but the orange cordon is a visual distraction from otherwise great view- and for how long?</p> <p><u>If you could change one thing about the reserve, what would you do?</u> Allow unobstructed views of the ocean for all houses along the main road (they pay higher rates and purchase prices on average because of this possibility). As a balance to this we'd love to see some strategic planting of coastal gums that would have been endemic to the area. These have an architectural quality to them, and tend not to be prone to falling limbs. The sort you see along the coastline between Stanley and Smithton. Yes they may take a while to grow but should be thinking long term as well as immediate future.</p>	Survey

NO	DATE	COMMENTS	RECEIVED VIA
		<p><u>What would you prefer the look and feel of the reserve to be?</u> Natural - Where possible, infrastructure provided blends into its surroundings and native landscaping</p> <p><u>What concerns you the most about the future of the reserve?</u> Losing its character</p> <p><u>What is your favourite activity in the reserve currently?</u> Accessing the beach. Let the natural assets be the standout attraction . Any development should be sympathetic, subtle t</p> <p><u>What would you like to be able to do or have in the reserve that isn't currently offered?</u> Attend more public events;</p> <p><u>Some similar reserves include combined recreational spaces for young people, such as skate parks, pump tracks, or more diverse exercise equipment. Do you think any of these types of activities are suitable for the East Wynyard Foreshore or do you have any other suggestions for activities for young people?</u></p> <p>these may work if really needed and if appropriately landscaped - not sure why a skatepark though as we have one already!;</p>	



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Email: [sblanc@warwyn.tas.gov.au](mailto:sblanc@warwyn.tas.gov.au)

1 February 2021

Section Head (Water and Dam Administration)  
Water Management & Assessment Branch  
GPO Box 44  
HOBART TAS 7001

EMAIL: [Bill.Shackcloth@dpipwe.tas.gov.au](mailto:Bill.Shackcloth@dpipwe.tas.gov.au)

Dear Bill,

**RE: WARATAH DAM – SUBMISSION  
NOTICE OF APPLICATION FOR A PERMIT TO UNDERTAKE DAM WORKS  
SECTION 145 OF THE WATER MANAGEMENT ACT 1999  
DAM WORKS PERMIT NUMBER 2020009986**

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We refer to the above application and wish to make representations to the proposed decommissioning of the Waratah Dam. This representation comes with the unanimous support of all Councillors of the Waratah-Wynyard Council following a decision at the January 2021 Council meeting.

At 30 June 2020, Council holds a 2.75% ownership interest in TasWater based on schedule 2 of the corporation's constitution. Council is acutely aware of the financial position of TasWater, with Council having significant detrimental impact from not receiving some dividends in 2019/20 and all dividends in 2020/21. Council is also well aware of operational challenges faced by the organisation.

Council is not against the notion of rationalisation of assets and in fact supports the ideal that TasWater should look to divest assets that are no longer of use to the organisation. Council regularly reviews its assets and similarly follows a statutory process for disposal should surplus assets be identified. There is no support however, for decommissioning of the dam as part of this divestment.

Council wrote to TasWater on 2 December 2020 stating:

*Council wishes to formally raise concerns with the process and projected timeframes for the proposed decommissioning of the Waratah Dam.*

*It is understood that TasWater are proceeding with the next stage of the decommissioning process and will soon apply to receive necessary approvals for the work to be undertaken. It is also understood that an interested party in dam ownership has emerged. Whilst Council have not formally seen their submission, they appear to be a credible applicant, worthy of genuine consideration.*

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*Council implore TasWater to expedite negotiations with the interested party to reach resolution and, if deemed suitable, commence the process of ownership transfer.*

*Under no circumstances should the decommissioning be undertaken whilst the negotiations remain unresolved. In fact, Council's position remains that the water source should be protected and kept for future generations.*

*Steps to mitigate risk, including lowering of the water level and enhancements to the spillway, have ensured the dam can remain in place until the negotiations are concluded. If the risk was high, TasWater would not have taken over eighteen months to conclude the public expression of interest process, only resolved as a result of Council intervention.*

*It is in everyone's best interests for TasWater to make this determination sooner rather than later. In accordance with the first Expression of Interest process, Council are willing to undertake the negotiations on TasWater's behalf should this be required.*

TasWater's reply, received on Friday 11 December 2020, states:

*We do understand the disappointment from some members of the community and council. In support of the community's desire to keep the reservoir, we spent over two years trying to*

*find a new owner for the Waratah Dam, which was always our preferred outcome. Unfortunately, these efforts were not successful.*

*We have recently applied for a Dam Works Permit through the Department of Primary Industries, Parks, Water and Environment (DPIPWE) requesting approval to decommission the Waratah Dam. The works proposed will ensure the safe removal of the dam embankment.*

*The application process will take approximately three months to finalise and should we gain authorisation to remove the dam, it will take another three months to remove the dam and a further two and a half years to complete our rehabilitation plan.*

*We are in discussions with a party who has recently expressed interest in the reservoir. These discussions are continuing in parallel with our Dam Works Permit request.*

*The interested party has made it clear to us that decommissioning the dam has absolutely no impact on their project. They have undertaken their own investigations into the existing dam and have advised that should their project proceed their intent would be to construct a new dam wall and reinstate the previous full storage capacity of the dam. They have also advised that their bid for funding to conduct a feasibility study for this project was unsuccessful and their progress will be impacted as a result.*

*We are providing the interested organisation our support and expertise and will continue to do so, even beyond the decommissioning of the current dam, should our application be successful.*

*We have undertaken mitigation activities to make the dam safer by lowering the water level and enhancing the spillway, however this has not eliminated the risk and is not a long-term solution.*

*Based on the below, if we gain approval from DPIPWE, we will move to decommission the dam.*

- *An extensive EOI process was unable to find a new owner.*

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- *Our works will have no impact on the decision of the party who has recently expressed interest in constructing a new dam at some point in the future*
- *The dam is unsafe and cannot be returned to full capacity*
- *We do not require it to supply drinking water to the town of Waratah as this can be done by run of river*
- *The cost to replace the dam is estimated at close to \$4M*

*Additionally, there are ongoing costs to maintain the dam in its current state, something we cannot continue to commit to, given the current financial environment driven by COVID-19 and our endeavours to return to paying dividends to our owner councils.*

With the above considered background information, the key points of our representation are as follows:

- In their own words, TasWater have undertaken mitigation activities to make the dam safer by lowering the water level and enhancing the spillway. Water can be released in the event high rainfall is predicted or occurs. Risk mitigation activities have reduced the risk of dam failure and extended the predicted life of the dam. There appears to be no deterioration in condition of the dam in the past three to five years since control measures were enacted. With this in mind, there appears no immediate need to decommission the dam whilst parties remain interested in its acquisition. At a minimum, the dam should be preserved until all ownership options have been exhausted.
- TasWater should review and redraft all risk studies completed on the dam to consider residual risk following recent works that have been undertaken. The previous risk assessment was based on numerous assumptions. Councils submission is that by implementing these works as stated, may have lowered or mitigated the societal risk as claimed by the applicant but is not known by Council, community nor Minister. It is recognised that the design of the dam wall was undertaken at a time before current engineering standards were introduced; and that the dam wall would have been approved and constructed in a time using best practice engineering of the day. The revised risk assessment may show the dam could remain in its current state for many years to come.
- A current interested party in acquisition of the dam has indicated that they may construct a new dam wall and reinstate the previous full storage capacity of the dam regardless of the outcome of the decommissioning process. TasWater reference this position in their reply to Council. If TasWater are concerned with financial impact and environmental considerations, why would decommissioning occur prior to these activities occurring? It would make commercial and environmental sense to decommission after the new dam is erected.
- TasWater references the ongoing costs to maintain the dam as prohibitive. The rehabilitation works proposed in the next three to five years will far outweigh the current operational burden
- TasWater is charged under the Water and Sewer Corporations Act of 2012 Section 6(1)(c)(i) to be a successful business and, to this end, to undertake good commercial

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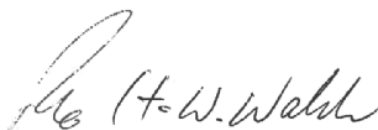
practice. It could be argued that good commercial practice has a philanthropic component and normally good business principles revolve around social responsibilities and sustainable development. These principles appear at odds with the application. Climate change will have unknown impacts and water resources such as a dams must be kept as valuable resources.

Council has adopted an integrated Community Environmental Plan. Through development of this plan, the community gave clear feedback that they wished for Council to prepare and plan for reduced water availability in the future as an effect of changing environmental factors. Fundamentally, Council cannot support removal of a water source that may be required in the future. It already serves as an important recreational space for the Waratah community and may enhance other uses in the future.

In summary, Council understands the rationale for TasWater wishing to divest itself of the dam and transfer ownership however sees no reason why immediate decommissioning is required or justified.

Please do not hesitate to contact my office on telephone 6443 8311 to discuss.

Yours sincerely



Robby Walsh  
**MAYOR**

**Waratah Wynyard Council**

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Department of Primary Industries, Parks, Water and Environment

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3 February 2021

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Our Ref: 20/8650.001

Waratah Wynyard Council  
Attention: Robby Walsh  
PO Box 168  
WYNYARD TAS 7325

[sblanc@warwyn.tas.gov.au](mailto:sblanc@warwyn.tas.gov.au)

Dear Mr Walsh

**REPRESENTATION RE: APPLICATION TO UNDERTAKE DAM WORKS –  
TASWATER**

I wish to acknowledge receipt of your email dated 1 February 2021 setting out your representations in relation to an application by TasWater for a permit to decommission Waratah Reservoir.

The application is currently being assessed by the Department in accordance with legislative requirements and Departmental policies relevant to technical and environmental aspects for the undertaking of dam works. The Technical Advisory Group (TAG) consists of a range of specialists from within various government agencies charged with the responsibility of providing technical/specialist advice to the Minister's Delegate in relation to aspects and issues arising from all dam applications.

If it is necessary, a Departmental Officer may contact you to clarify any issues you have raised, in order to address and assess your representation. Following any such meeting, a report will be prepared by relevant technical specialists and forwarded to the Minister's Delegate together with a copy of your representation.

Once this assessment has been completed, the application, TAG reports, all representations and subsequent reports on the representations will be submitted to the Minister's Delegate for consideration.

After the application has been assessed, I will again write to you to advise of the Minister's decision.

If you wish to withdraw or amend your representation please advise me in writing.

In the meantime should you require further information in relation to the proposal or your representation, please contact me on 6165 3001 or [Bill.Shackcloth@dpiwe.tas.gov.au](mailto:Bill.Shackcloth@dpiwe.tas.gov.au).

Yours faithfully

A handwritten signature in cursive script, appearing to read "Sallie Bolonja".

For: Bill Shackcloth

**SECTION HEAD (WATER AND DAM ADMINISTRATION)  
WATER MANAGEMENT AND ASSESSMENT BRANCH**