

NOTICE OF PROPOSED DEVELOPMENT

Notice is hereby given that an application has been made for the following development:-

NO:	DA 84/2024
LOCATION:	16 Hill Court WYNYARD
APPLICANT:	E Dent & J Dent
SCHEME:	Tasmanian Planning Scheme – Waratah-Wynyard
ZONING:	General Residential
USE CLASS:	Residential
PROPOSAL:	Outbuilding (Shed)
DISCRETIONARY MATTER:	Setbacks and building envelope for all dwellings 8.4.2 (P3)

The application and associated plans and documents are available for inspection on Council website <https://www.warwyn.tas.gov.au/planning-and-development/advertised-permits/> and at Council offices, located at 21 Saunders Street Wynyard during normal office hours for a period of 14 days from the date of this notice.

Any person who wishes to make representations in accordance with the *Land Use Planning and Approvals Act 1993*, must do so during the 14-day period.

Representations in writing will be received by the General Manager, PO Box 168, Wynyard, 7325, or email council@warwyn.tas.gov.au by **Wednesday 15 May 2024**.

Dated Wednesday 1 May 2024.



Shane Crawford
GENERAL MANAGER

SECTION 51 LAND USE PLANNING & APPROVALS ACT 1993

PERMITTED APPLICATION - Assessment and determination of permit application under <i>S58 Land Use Planning and Approvals Act 1993</i>	\$280.00 plus \$1.35 per \$1,000 of value for use or development
DISCRETIONARY APPLICATION - Assessment and determination of a permit application under <i>S57 Land Use Planning and Approvals Act 1993</i>	\$450.00 plus \$1.75 per \$1,000 of value for use or development plus advertising fee
SUBDIVISION APPLICATION - Assessment and determination of a subdivision application for 1 to 5 lots under <i>s57 or s58 Land Use Planning & Approvals Act 1993</i>	\$450.00 plus \$1.75 per \$1,000 of value for use or development plus advertising fee
SUBDIVISION APPLICATION - Assessment and determination of a subdivision application for more than 5 lots under <i>s57 or s58 Land Use Planning & Approvals Act 1993</i>	\$815.00 plus \$175 per lot plus advertising fee
ADVERTISING FEE	\$280.00
Level 2 Environmental Activity - Additional charge to permit application	\$530.00 + advertising fee by quote
Please refer to www.warwyn.tas.gov.au (Council Services - Planning Services - Planning Fees) for all other fees	

Is a hard copy of planning permit and endorsed documents required? Yes No

- Value of work (inc GST) \$ 30,000 Contract Price Estimate
 - Development Address 16 Hill Court Wynyard Tas 7325
 - Full Name of Applicant(s) Jamie Dent and Emma Dent
- Contact Details: Address: 16 Hill Court Wynyard Tas 7325
- Email Address jec@aol.com.au Telephone 0438065334

For requests in hardcopy format all correspondence in relation to this application, will be sent to the contact address, otherwise all correspondence will be forwarded to the email address

- Would you like the contact address recorded above to be applied for all future Council correspondence? (including rates/animal control etc)? Yes.....No.....

5.

Where the Applicant is not the Owner

In accordance with Section 52 of the *Land Use Planning and Approvals Act 1993* if the applicant for the permit is not the owner of the land in respect of which the permit is required, the applicant must include in the application for the permit, a declaration that the applicant has notified the owner of the intention to make the application.
In the event that the property is owned or managed by the Crown or Council, this application is to be signed by the relevant Crown Minister responsible, or General Manager of the Council, and accompanied by written permission of the Minister/General Manager to the making of this application.

Owners Full Name

Address Telephone Work/Business

Crown Minister/General Manager Signature.....

Applicant's Notification to Owner

I
Full Name of Applicant(s)

of
Applicant's Address

Declare that I/we have notified the owner(s) of the property(ies) of the intention to make this application.
I/We understand that in accordance with Section 52(2) of the *Land Use Planning and Approvals Act 1993* a person must not obtain or attempt to obtain a permit by wilfully making, or causing to be made, any false representation or declaration either orally or in writing.

Applicant's Signature(s)

6. Proposed Development (Fully describe intended use of land or premises)

Shed 7m span x 10m long x 3.8m eaves height
We plan to build ourselves on weekends

7. Supporting Information if necessary to explain special features of the proposal.
(Attach separate sheet if required)

have included engineering document, plans

To include –

a. One Copy (electronic copy if available) of any plan(s) and/or specification(s) for the proposed development, showing where applicable:

- i. Sufficient information to demonstrate compliance with all applicable standards, purpose statements in applicable zones and codes, any relevant local area objectives or desired future character statements;
- ii. a full description of the proposed use or development;
- iii. a full description of the manner in which the use or development will operate;
- iv. a site analysis and site plan at an acceptable scale;
- v. a detailed layout plan of the proposed buildings with dimensions at a scale of 1:100 or 1:200;
- vi. a plan of the proposed landscaping;
- vii. car parking facilities and capacity;
- viii. area of clearing of trees and bushland;
- ix. size, position, colour, illumination, fixing or support and other design details of advertising sign(s).

b. A full copy of your title shall also accompany the application.

Title Certificate Title Plan Schedule of Easements

c. Relevant engineering pre-lodgement approvals

Access Stormwater

8. Present use of site and/or buildings – full description

residential premises

9.

Car Parking		Floor Area	
Existing on site	Existing
Total no. proposed	Proposed

Site Area.....m² Totalm²

Questions 10 to 13 relate to Commercial and industrial Uses and Development ONLY

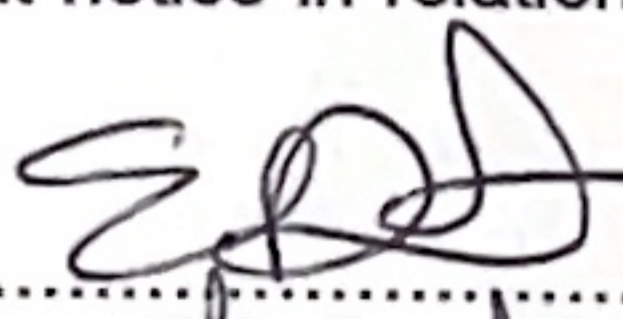
10.	What days and hours of operation are proposed?		
	Monday to Friday:	From	a.m. to p.m.
	Saturday	From 10	a.m. to 4 p.m.
	Sunday	From 10	a.m. to 4? p.m.
11.	Number of Employees?		
	Existing.....		
	Proposed.....		
12.	Vehicles visiting or delivering to or from the site?		Trips per day
	Type	No.	
13.	What type of machinery is to be installed or used		
	Type	No.	


Declaration By Applicant (Mandatory)

I declare that the information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with the development application may be made available to the public. I understand that the Council may make such copies of the information and materials as in its opinion are necessary to facilitate a thorough consideration of the Permit Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application for the purposes of assessment of that application. I indemnify the Waratah-Wynyard Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.

I/We hereby acknowledge that Section 20(a) of the *Local Government Act 1993* provides the power for persons authorised by the General Manager to enter land without notice in relation to an application by the owner or occupier for a licence, permit or other approval given by the council.

Signature(s)
(all applicants to sign)





 Date 9/4/24



SEARCH OF TORRENS TITLE

VOLUME 181689	FOLIO 13
EDITION 2	DATE OF ISSUE 31-Jan-2022

SEARCH DATE : 09-Apr-2024

SEARCH TIME : 12.09 AM

DESCRIPTION OF LAND

Town of WYNYARD

Lot 13 on Sealed Plan 181689

Derivation : Part of 10 Acres (Sec B.B.) Gtd. to J B Waldron

Prior CT 177507/97

SCHEDULE 1

M934293 TRANSFER to JAMIE JONATHON DENT and EMMA MAUREEN DENT

Registered 31-Jan-2022 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any

SP181689 COVENANTS in Schedule of Easements

SP181689 FENCING COVENANT in Schedule of Easements

SP177507 COVENANTS in Schedule of Easements

SP177507 FENCING COVENANT in Schedule of Easements

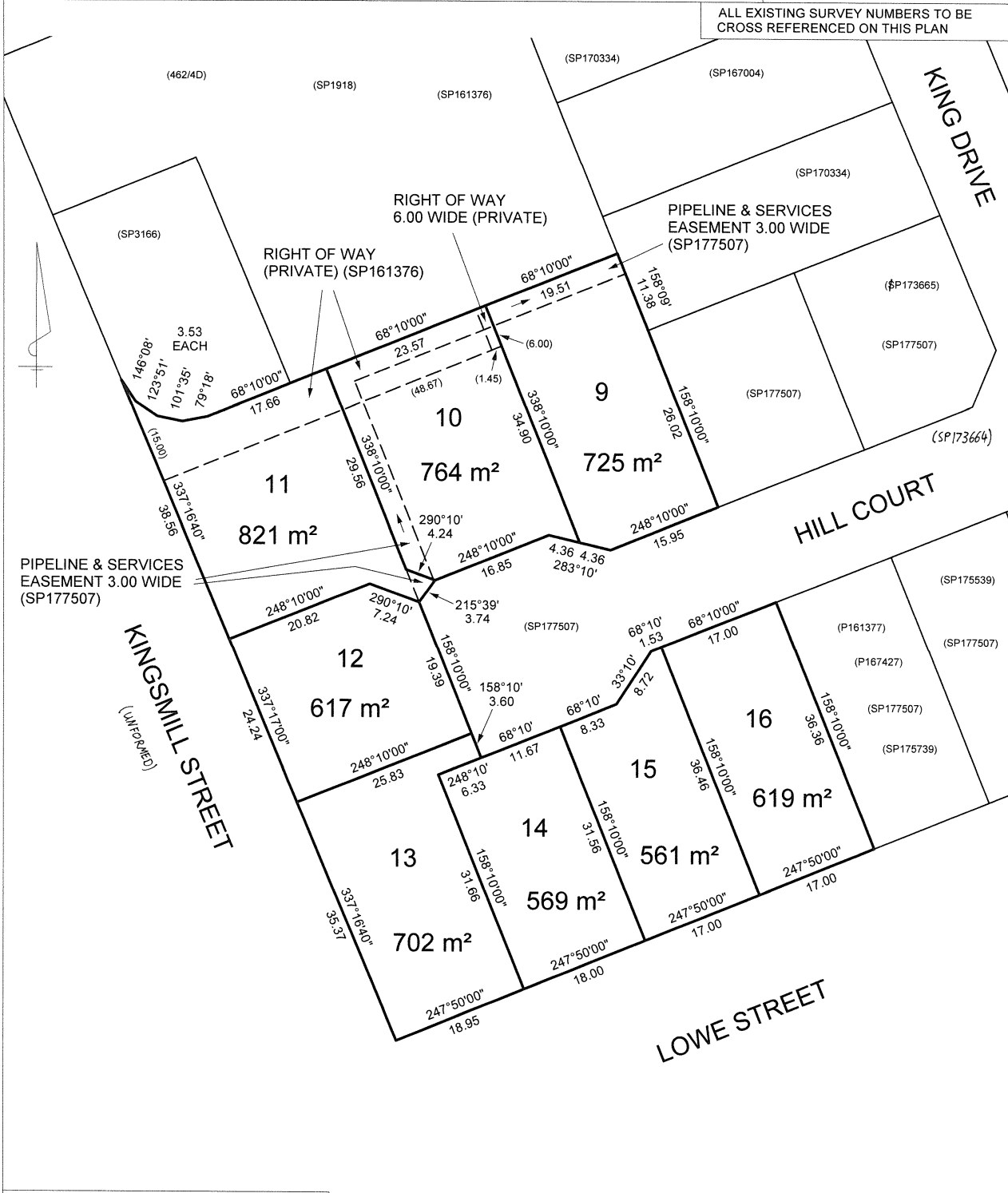
E290804 MORTGAGE to B&E Ltd Registered 31-Jan-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: RONALD EDWARD SHEPPARD DHREEN MARJORIE SHEPPARD-KEAM FOLIO REFERENCE: F/R177507/97 GRANTEE: Part of 10A-0R-0P Sec B.B. Gtd. to J.B. Waldron.	<p align="center">PLAN OF SURVEY</p> BY SURVEYOR: LEN C. MACKENZIE LOCATION: <p align="center">Town of WYNYARD</p> SCALE 1: 500 LENGTHS IN METRES	Registered Number <p align="center">SP181689</p> APPROVED EFFECTIVE FROM 11 OCT 2021 Recorder of Titles
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ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN



Registered Land Surveyor 10/2/2021
 Date

Council Delegate 21.7.21
 Date

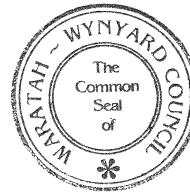
Registered Number

SP 181689

COUNCIL APPROVAL

(Insert any qualification to the permit under section 83(5), section 109 or section 111 of the Local Government (Building & Miscellaneous Provisions) Act 1993)
The subdivision shown in this plan is approved

In witness whereof the common seal of
has been affixed, pursuant to a resolution of the Council of the said municipality
passed the 11th day of Dec 2017, in the presence of us



Member

Member

Council Delegate *[Signature]*

Council Reference SD1902-A

NOMINATIONS

For the purpose of section 88 of the Local Government (Building & Miscellaneous Provisions) Act 1993
the owner has nominated

O'ROURKE & KELLY Solicitor to act for the owner
L.C. MACKENZIE & ASSOCIATES P/L Surveyor to act for the owner

OFFICE EXAMINATION: Indexed Computed *AJ* Examined *AJ 10.9.21*

SCHEDULE OF EASEMENTS	Registered Number SP 181689
NOTE: THE SCHEDULE MUST BE SIGNED BY THE OWNERS & MORTGAGEES OF THE LAND AFFECTED. SIGNATURES MUST BE ATTESTED.	

PAGE 1 OF 3 PAGES

EASEMENTS AND PROFITS

Each lot on the plan is together with:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as may be necessary to drain the stormwater and other surplus water from such lot; and
- (2) any easements or profits a prendre described hereunder.

Each lot on the plan is subject to:-

- (1) such rights of drainage over the drainage easements shown on the plan (if any) as passing through such lot as may be necessary to drain the stormwater and other surplus water from any other lot on the plan; and
- (2) any easements or profits a prendre described hereunder.

The direction of the flow of water through the drainage easements shown on the plan is indicated by arrows.

Lot 9 is together with a right of carriageway over the land marked RIGHT OF WAY (PRIVATE) 6.00 WIDE & RIGHT OF WAY (PRIVATE) (SP161376) on the plan

Lot 9 is subject to a pipeline and services easement as gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

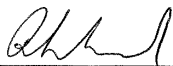
Lot 10 is together with a right of carriageway over the land marked RIGHT OF WAY (PRIVATE) (SP 161376) passing through lot 11 on the plan

Lot 10 is subject to a right of carriageway (appurtenant to lot 1 on Sealed Plan 161376) over the land marked RIGHT OF WAY (PRIVATE) (SP161376) passing through that lot on the plan

Lot 10 is subject to a right of carriageway (appurtenant to lot 9) over the land marked RIGHT OF WAY (PRIVATE) 6.00 WIDE & RIGHT OF WAY (PRIVATE) (SP161376) passing through that lot on the plan

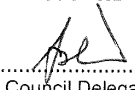
Lot 10 is subject to a pipeline and services easement as gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

Lot 11 is subject to a right of carriageway (appurtenant to lot 1 on Sealed Plan 161376) over the land marked RIGHT OF WAY (PRIVATE) (SP161376) passing through that lot on the plan



(USE ANNEXURE PAGES FOR CONTINUATION)

R E Sheppard - Keam

SUBDIVIDER: R E SHEPPARD & D M SHEPPARD-KEAM FOLIO REF: 177507-97 SOLICITOR: O'ROURKE & KELLY (AJO'R)	PLAN SEALED BY: WARATAH WYNYARD COUNCIL DATE: 04.10.2021 3098330 SD-1902-B REF NO.	 Council Delegate
NOTE: The Council Delegate must sign the Certificate for the purposes of identification.		

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 2 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 181689</p>
<p>SUBDIVIDER: R E SHEPPARD & D M SHEPPARD-KEAM FOLIO REFERENCE: 177507-97</p>	

Lot 11 is subject to a right of carriageway (appurtenant to lots 9 & 10) over the land marked RIGHT OF WAY (PRIVATE) (SP 161376) passing through that lot on the plan

Lot 11 is subject to a pipeline and services easement as gross as defined herein (in favour of TasWater) over the land marked PIPELINE & SERVICES EASEMENT 3.00 WIDE ("the Easement Land") passing through that lot on the plan

COVENANTS

The owners of the lots on the plan are affected by covenants created by and more fully set forth in Sealed Plan 177507

FENCING PROVISION

In respect to the lots on the plan the vendor (Ronald Edward Sheppard and Dhreen Marjorie Sheppard-Keam) shall not be required to fence

INTERPRETATION

"TasWater" means Tasmanian Water & Sewerage Corporation Pty Ltd (ACN 162 220 653) its successors and assigns

"Pipeline and Services Easement" means:-

FIRSTLY, the full and free right and liberty for TasWater and its employees, contractors, agents and all other persons duly authorised by it, at all times to:

- (1) enter and remain upon the Easement Land with or without machinery, vehicles, plant and equipment;
- (2) investigate, take soil, rock and other samples, survey, open and break up and excavate the Easement Land for any purpose or activity that TasWater is authorised to do or undertake;
- (3) install, retain, operate, modify, relocate, maintain, inspect, cleanse, repair, remove and replace the Infrastructure;
- (4) run and pass sewage, water and electricity through and along the Infrastructure;
- (5) do all works reasonably required in connection with such activities or as may be authorised or required by any law:
 - (a) without doing unnecessary damage to the Easement Land; and
 - (b) leaving the Easement Land in a clean and tidy condition;
- (6) if the Easement Land is not directly accessible from a highway, then for the purpose of undertaking any of the preceding activities TasWater may with or without employees, contractors, agents and any other persons authorised

R E Sheppard:  D M Sheppard-Keam: 

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

<p>ANNEXURE TO SCHEDULE OF EASEMENTS</p> <p>PAGE 3 OF 3 PAGES</p>	<p>Registered Number</p> <p>SP 181689</p>
<p>SUBDIVIDER: R E SHEPPARD & D M SHEPPARD-KEAM FOLIO REFERENCE: 177507-97</p>	

by it, and with or without machinery, vehicles, plant and equipment enter the Lot from the highway at any vehicle entry and cross the Lot to the Easement Land; and

(7) use the Easement Land as a right of carriageway for the purpose of undertaking any of the preceding purposes on other land, TasWater reinstating any damage that it causes in doing so to any boundary fence of the Lot

SECONDLY, the benefit of a covenant in gross for TasWater with the registered proprietor/s of the Easement Land and their successors and assigns not to erect any building, or place any structures, objects, vegetation, or remove any thing that supports, protects or covers any Infrastructure on or in the Easement Land, without the prior written consent of TasWater to the intent that the burden of the covenant may run with and bind the servient land and every part thereof and that the benefit thereof may be annexed to the easement herein described

"Infrastructure" means infrastructure owned or for which TasWater is responsible and includes but is not limited to:

- (a) sewer pipes and water pipes and associated valves;
- (b) telemetry and monitoring devices;
- (c) inspection and access pits;
- (d) electricity assets and other conducting media (excluding telemetry and monitoring devices);
- (e) markers or signs indicating the location of the Easement Land or any other Infrastructure or any warnings or restrictions with respect to the Easement Land or any other Infrastructure;
- (f) anything reasonably required to support, protect or cover any other Infrastructure;
- (g) any other infrastructure whether of a similar nature or not to the preceding which is reasonably required for the piping of sewage or water, or the running of electricity, through the Easement Land or monitoring or managing that activity; and
- (h) where the context permits, any part of the Infrastructure.

Signed by RONALD EDWARD SHEPPARD & DHREEN MARJORIE)
 SHEPPARD-KEAM being the registered proprietor of)
 Folio 177507-97 in the presence of-)
 Witness:)
 Print Full Name:



Postal Address: ANTHONY O'ROURKE, BA-LLB.M.B.A
 SOLICITOR
 O'Rourke & Kelly
 20 Rooke Street
 Devonport, Tasmania

NOTE: Every annexed page must be signed by the parties to the dealing or where the party is a corporate body be signed by the persons who have attested the affixing of the seal of that body to the dealing.

CERTIFICATE OF THE RESPONSIBLE DESIGNER

Section 94
Section 106
Section 129
Section 155

Form **35**

To: *Owner name*
 Address
 Suburb/postcode

Designer details:

Name: *Category:*
 Business name: *Phone No:*
 Business address:
 Fax No:
 Licence No: *Email address:*

Details of the proposed work:

Owner/Applicant *Designer's project reference No.*
Address: *Lot No:*

Type of work: Building work Plumbing work *(X all applicable)*

Description of work:

New class 10a building (non-habitable shed) with importance lvl 2 of size 7.000m span x 10.000m long x 3.800m eaves height. The building consists of cold formed steel framing members and cladding along with reinforced concrete pavement slab on ground where shown.

(new building / alteration / addition / repair / removal / re-erection / water / sewerage / stormwater / on-site wastewater management system / backflow prevention / other)

Description of the Design Work (Scope, limitations or exclusions): *(X all applicable certificates)*

Certificate Type:	Certificate	Responsible Practitioner
	<input type="checkbox"/> Building design	Architect or Building Designer
	<input checked="" type="checkbox"/> Structural design	Engineer or Civil Designer
	<input type="checkbox"/> Fire Safety design	Fire Engineer
	<input type="checkbox"/> Civil design	Civil Engineer or Civil Designer
	<input type="checkbox"/> Hydraulic design	Building Services Designer
	<input type="checkbox"/> Fire service design	Building Services Designer
	<input type="checkbox"/> Electrical design	Building Services Designer
	<input type="checkbox"/> Mechanical design	Building Service Designer
	<input type="checkbox"/> Plumbing design	Plumber-Certifier; Architect, Building Designer or Engineer
	<input type="checkbox"/> Other (specify)	
Deemed-to-Satisfy: <input checked="" type="checkbox"/>		Performance Solution: <input type="checkbox"/> <i>(X the appropriate box)</i>

Other details:

The design complies with the following deemed-to-satisfy parts of 2022 NCC-BCA Vol. 2 & Housing Provisions:

- Part H1D4(1)(a)(ii) for resistance of concrete (AS3600)
- Housing provision 2.2.4 for resistance of fastenings in concrete (AS5216)
- Part H1D6(3)(c) for resistance of cold-formed steel members (AS/NZS4600)
- Housing provision 2.2.3(a), (b) & (c) for the following actions to AS/NZS1170 parts 1 to 4:
 - o Imposed: 2.5 kPa to slab (light vehicles) where slab is shown
 - o Wind: Importance level 2, Region A4, Terrain Cat. 2.50, Topographic (Mt) 1.00, Shielding (Ms) 1.00 and Site wind speed ($V_{sit,\beta}$) 39.20 m/s
 - o Snow: 0.00 kPa
 - o Earthquake: Design category I

Design documents provided:

The following documents are provided with this Certificate –

Document description:

Drawing numbers:	Prepared by:	Date:
HGOR94214284 sheets 1 to 10 revision A	Shed Engineering Pty Ltd	02/04/2024
Schedules:	Prepared by:	Date:
Specifications:	Prepared by:	Date:
Computations:	Prepared by:	Date:
Performance solution proposals:	Prepared by:	Date:
Test reports:	Prepared by:	Date:

Standards, codes or guidelines relied on in design process:


2022 National Construction Code – Building Code of Australia Volume 2 & Housing Provisions
 Australian Standard for Structural design Actions parts 0, 1, 2, 3 & 4 (AS/NZS 1170)
 Australian Standard for Cold-formed Steel Structures (AS/NZS 4600:2018)
 Australian Standard for Concrete Structures (AS 3600:2018)
 Australian Standard for Post-installed Fasteners in Concrete (AS 5216:2021)
 Australian Steel Institute Design Guide Portal Frame Steel Sheds and Garages 2nd edition June 2014

Any other relevant documentation:**Attribution as designer:**

I, Grant Wood, am responsible for the design of that part of the work as described in this certificate;

The documentation relating to the design includes sufficient information for the assessment of the work in accordance with the *Building Act 2016* and sufficient detail for the builder or plumber to carry out the work in accordance with the documents and the Act;

This certificate confirms compliance and is evidence of suitability of this design with the requirements of the National Construction Code.

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	Grant Wood		
Licence No:	690930425		

Note: single residential dwellings and outbuildings on a lot with an existing sewer connection are not considered to increase demand and are not certifiable.

If you cannot check ALL of these boxes, LEAVE THIS SECTION BLANK.

TasWater must then be contacted to determine if the proposed works are Certifiable Works.

I confirm that the proposed works are not Certifiable Works, in accordance with the Guidelines for TasWater CCW Assessments, by virtue that all of the following are satisfied:

- The works will not increase the demand for water supplied by TasWater
- The works will not increase or decrease the amount of sewage or toxins that is to be removed by, or discharged into, TasWater's sewerage infrastructure
- The works will not require a new connection, or a modification to an existing connection, to be made to TasWater's infrastructure
- The works will not damage or interfere with TasWater's works
- The works will not adversely affect TasWater's operations
- The work are not within 2m of TasWater's infrastructure and are outside any TasWater easement
- I have checked the LISTMap to confirm the location of TasWater infrastructure
- If the property is connected to TasWater's water system, a water meter is in place, or has been applied for to TasWater.

Certification:

I being responsible for the proposed work, am satisfied that the works described above are not Certifiable Works, as defined within the *Water and Sewerage Industry Act 2008*, that I have answered the above questions with all due diligence and have read and understood the Guidelines for TasWater CCW Assessments.

Note: the Guidelines for TasWater Certification of Certifiable Works Assessments are available at: www.taswater.com.au

	<i>Name: (print)</i>	<i>Signed</i>	<i>Date</i>
Designer:	<input type="text"/>	<input type="text"/>	<input type="text"/>



TassieSheds
MODERN SHEDS BUILT AUSSIE TOUGH

TASSIE SHEDS

(03) 6165 0204

info@tassiesheds.com.au

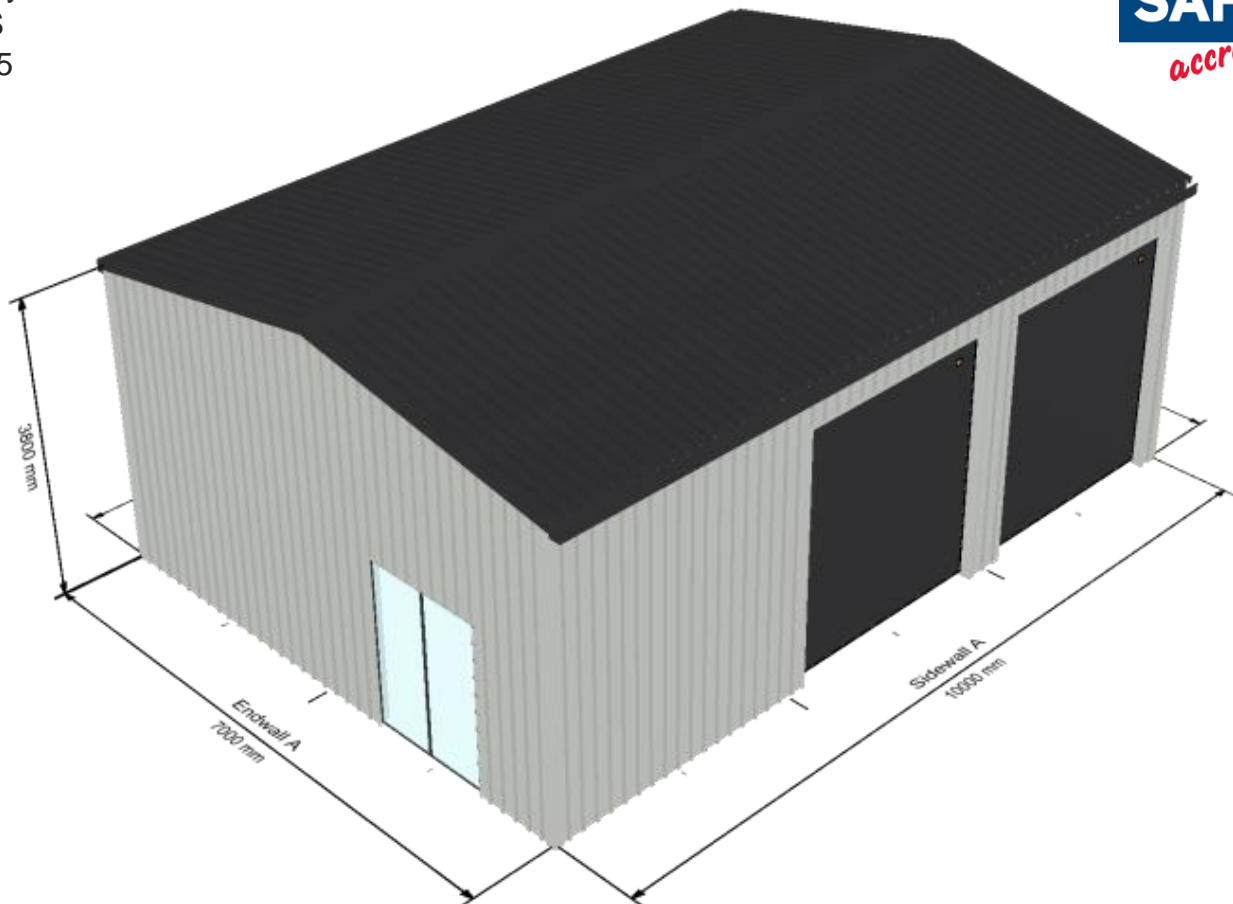
CAN: 644 258 560

27/3/2024

Quote #94214284

Quotation

Emma Dent
16 Hill Court
Wynyard
TAS
7325



Colorbond® Zincolume®



Quote #94214284, 27/3/2024

Building Specifications

Building Site Address:

16 Hill Court, Wynyard, TAS, 7325

Design Criteria:

Design Roof Snow Load: N/A (Results have not been set. If problem persists after calculation, please contact support.)

Wind Load/Exposure: 39.2 m/s

Building Class: 10a

Wind Region: A4

Importance Level: 2

Terrain Category: 2.5

Shielding: 1

Topography: 1

Sheeting and Trim Details:

Roof Type: Trimclad 0.42 CB

Roof Color: Monument

Wall Type: Trimclad 0.42 CB

Wall Color: Shale Grey

Eave Trim/Gutter Type: Quad Gutter 150 Hi-Front

Trim Color: Varies

Base Trim: None

Building Dimensions:

Width: 7.000 m

Length: 10.000 m

Eave Height: 3.800 m

Roof Pitch: 10 deg

Sidewall Bays: 3 3.333 m

Endwall Bays: 2 3.500 m

Building Specs:

Columns: C15024

Rafters: C15024

Endwall Column: C15024

Roof Purlins: Z10012

Side Wall Girts: Z10012

End Wall Girts: Z10012

Leanto A Details:

Span: N/A

Bays: N/A

Drop: N/A

Roof Pitch: N/A

Eave Height: N/A

Leanto B Details:

Span: N/A

Bays: N/A

Drop: N/A

Roof Pitch: N/A

Eave Height: N/A

Slab and Footing Details:

Bored foundation plans included

100mm Slab

Main Column Footings: 600 mm - 400 mm

End Mullion Footings: 500 mm - 400 mm

Opening Details:

- Personnel doors: None
- Roller Doors: H3300xW3000 ROW Roller Door Monument (actual opening size 3200h x 2800w) in Center of bay 2 of Sidewall A
H3300xW3000 ROW Roller Door Monument (actual opening size 3200h x 2800w) in Center of bay 3 of Sidewall A
- Windows: 1x 2100X1584 XO Monument
- Framed Openings: None
- Open Bays: None
- Translucent Panels: None
- Door Extras: 2x H3300xW3000 ROW Roller Door Monument
2x Firmatube Roller Door Wrapping

Insulation Details:

None

Mezzanine:

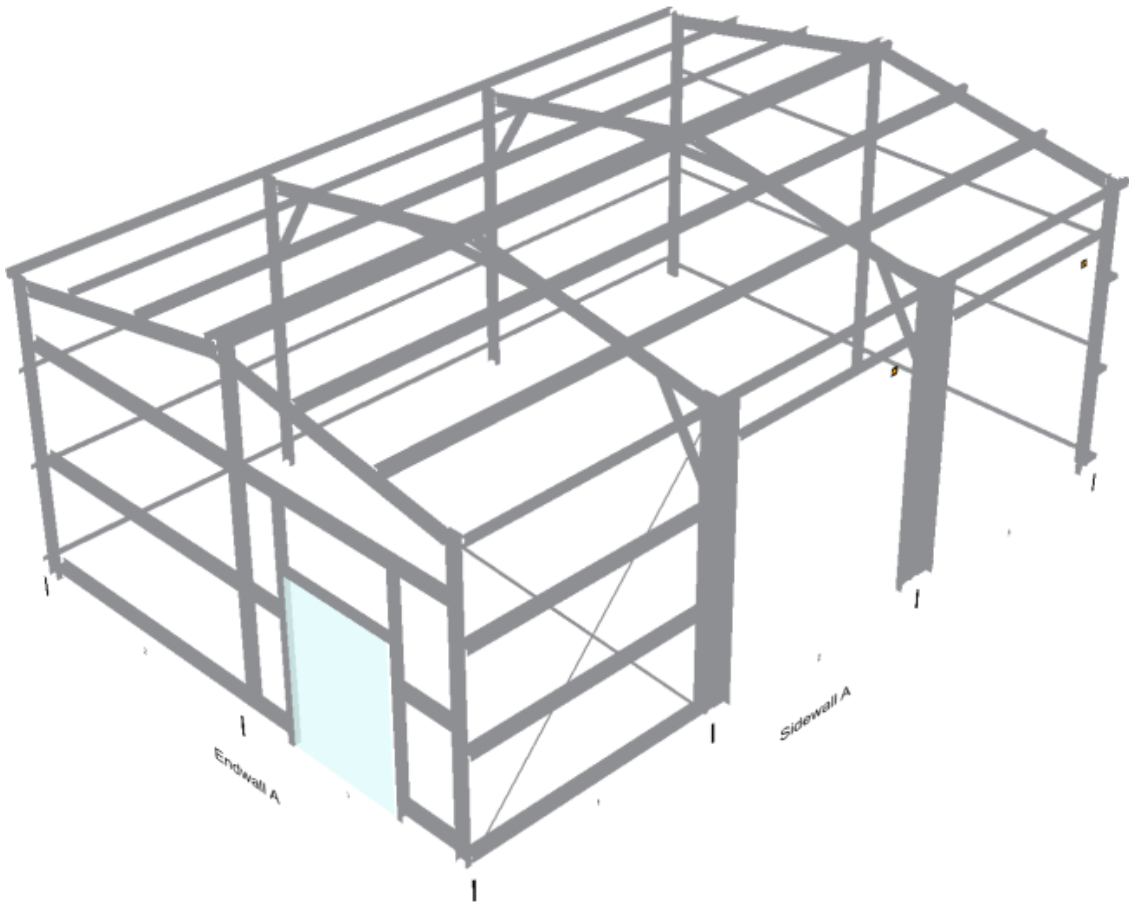
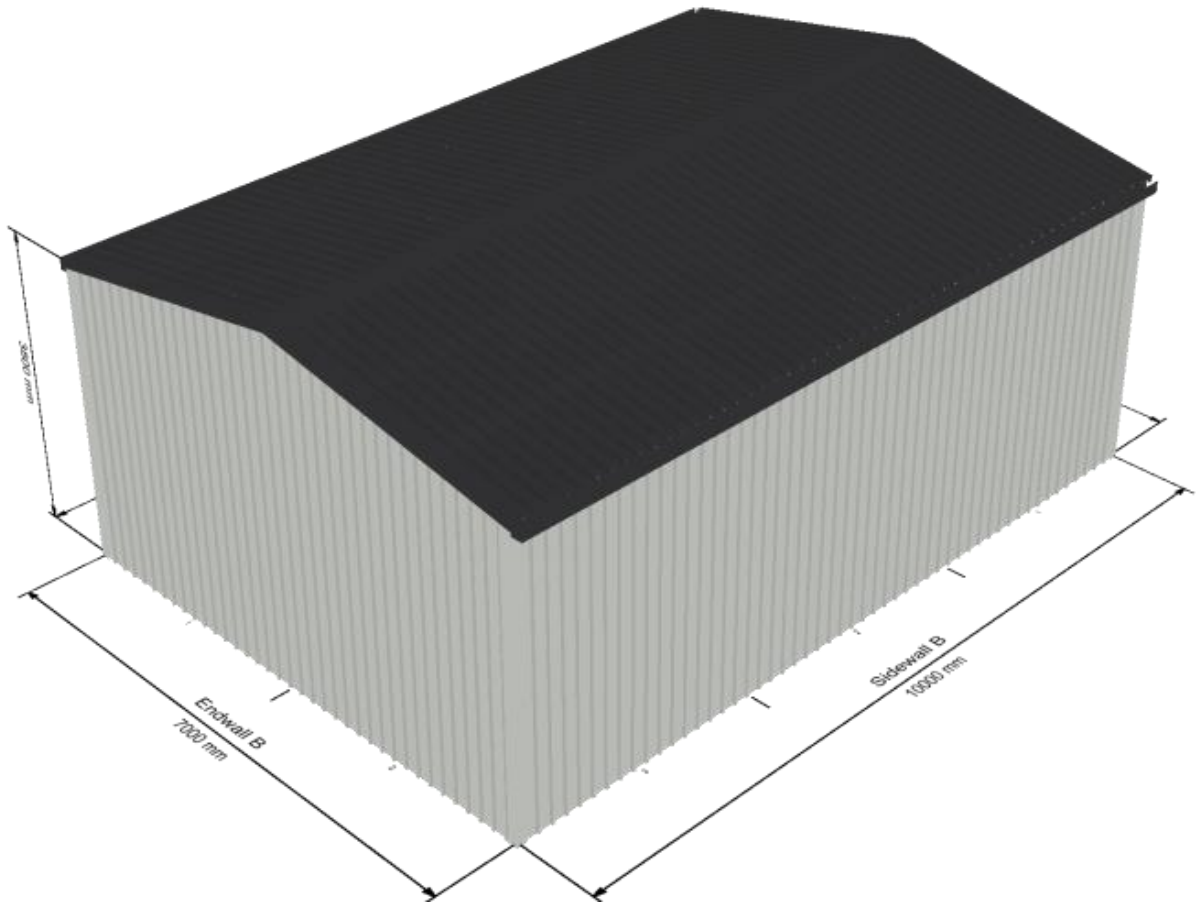
Floor Height: N/A Bays: N/A
Live Load: N/A Joist Spacing: N/A

Extra Options:

(1) (SS) FLY SCRIN SUIT 2100X1584 SDR FULL COV
Knee Brace: C10019
Apex Brace: C10019

Total Building Weight:

2297.08kg



Important Terms & Conditions

1. **Payment**

- (a) The Customer shall pay the Supplier the amount(s) stated as per payment schedule accompanying the order.
- (b) The Supplier is not obliged to deliver any Goods unless the Customer has paid all amounts in full.
- (c) The Customer must pay to the Supplier all debt collection costs, including any legal fees associated with the recovery or attempted recovery of any amount due to the Supplier under the Agreement.
- (d) Goods for each building are made as required, any orders cancelled after order placement will not be refunded.

2. **Ownership**

- (a) Ownership of the Goods does not pass to the Customer until all amounts due are paid to the Supplier.
- (b) Unless payment for the Goods is made to the Supplier by due date, the Supplier, or its agents or employees, may at any time enter on to the site where the Goods are stored and remove the Goods.
- (c) The Customer must indemnify the Supplier in respect of any claims, losses, costs, or damages that the Supplier may incur as a result of the Supplier taking action under clause 2(b).
- (d) Until the Customer has paid for the Goods;
 - (i) The Customer must not use, sell, lease, dispose, assign, or encumber the Goods (by mortgage, lien, charge or otherwise) without the consent of the Supplier; and
 - (ii) The Customer must store the Goods separately in a readily identifiable state.

3. **Council**

- (a) The Customer agrees to pay any additional costs incurred should the Local Council require any changes be made to the building.
- (b) A rejection of any building application or scope of works by the Local Council does not constitute a cancellation of the order and all moneys payable by the Customer to the Supplier shall become immediately due and payable.

4. **Delivery**

- (a) The Customer will at his expense provide or cause to be provided full and clear access to the delivery site.
- (b) Times for delivery are approximate and the Supplier can in no way be held responsible for variations to the proposed times.
- (c) Where delivery is specified to be made to a site, any additional mechanical assistance required to unload the Goods (e.g. crane, etc) must be paid for and organised by the Customer.
- (d) The Customer is to immediately notify the Supplier in writing upon discovery of any defect or shortage in the Goods. The Customer is deemed to have accepted the Goods and shall not have any claim in respect of defects or shortage unless the Supplier is notified in writing within forty-eight (48) hours of delivery of the Goods.

5. **General**

- (a) Minor variations in measurements from those shown in the order shall not give rise to any claim for damages or breach of Agreement.
- (b) To the extent permitted by law, the Supplier's liability with respect to the supply of defective or faulty Goods is limited to the lowest of:
 - (i) The replacement or repair of the Goods; or
 - (ii) Payment of the costs of replacing the Goods or supplying equivalent Goods, in each case, at the Suppliers discretion. The Supplier shall not be liable for any labour costs associated with such repair or replacement.
- (c) The Customer warrants that he has carried out his own inquiries and investigations as to adequacy or suitability of the Goods for the purpose for which the Customer intends to use the Goods and the Customer has not relied on the Supplier or the supplier's employees, agents or distributors in determining the adequacy or suitability of the Goods for the Customer's purposes.
- (d) If the Customer defaults under any term of the Agreement or these Terms & Conditions, the Supplier may terminate the Agreement and all moneys payable by the Customer to the Supplier shall become immediately due and payable.

Pricing & Payment Terms

Purchase Conditions:

10% Deposit for stamped engineering drawings.

50% Total prior to manufacturing. (40% due if 10% engineering has been paid)

50% Balance to be paid 10 days before delivery.

Special Terms – Must Read

Delivery is to the front of the property only unless there is sufficient area for the delivery truck to return around on your property.

The shed package remains the property of Tassie Sheds until fully paid for.

The purchaser agrees to accept the shed package within 6-10 weeks of ORDERING barring any steel shortages or unforeseen issues. **In the event of a material price rise by the material manufacturer, the purchaser agrees to pay the increase.**

Client Details

Client: Emma Dent

Quote #94214284

Clients Address: 16 Hill Court

Wynyard, TAS, 7325

Phone: 0407530110

Date: 27/3/2024

Kit Price

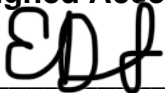
\$19,586.94 (Inc. GST.)

Delivery Included (If on standard delivery route)

Price valid for 14 days (Unless price rise)

Quote Acceptance

Signed Acceptance of Building Price and Design.



Signed That Terms and Conditions Have Been Read.



Classic finish



Dover White™
Classic finish
SA = 0.28



Surfmist®
Classic finish
SA = 0.33
U



Evening Haze®
Classic finish
SA = 0.43



Southerly®
Classic finish
SA = 0.40



Dune®
Classic finish
SA = 0.48
U



Paperbark®
Classic finish
SA = 0.43



Classic Cream™
Classic finish
SA = 0.33



Shale Grey™
Classic finish
SA = 0.44
U



Bluegum®
Classic finish
SA = 0.57



Windspray®
Classic finish
SA = 0.60
U



Gully®
Classic finish
SA = 0.64



Jasper®
Classic finish
SA = 0.67



Wallaby®
Classic finish
SA = 0.64
U



Basalt®
Classic finish
SA = 0.67



Woodland Grey®
Classic finish
SA = 0.70
U



Monument®
Classic finish
SA = 0.73
U



Night Sky®
Classic finish
SA = 0.95



Ironstone®
Classic finish
SA = 0.73



Deep Ocean®
Classic finish
SA = 0.74



Cottage Green®
Classic finish
SA = 0.73



Pale Eucalypt®
Classic finish
SA = 0.60



Manor Red®
Classic finish
SA = 0.70

To Whom it may concern,

As per clause 8.4.2

The siting and scale of dwellings:

(a) provides reasonably consistent separation between dwellings and their frontage within a street;

(b) provides consistency in the apparent scale, bulk, massing and proportion of dwellings;

(c) provides separation between dwellings on adjoining properties to allow reasonable opportunity for daylight and sunlight to enter habitable rooms and private open space; and

(d) provides reasonable access to sunlight for existing solar energy installations

Whilst the Northern side of the shed is 0.5m from the boundary it will not cause an unreasonable reduction in sunlight to an existing solar energy installation on, (i) an adjoining property; or (ii) another dwelling on the same site.

The Western side will be 0.2m from boundary that backs onto vacant public land.

Kind Regards

Emma Dent

STRUCTURAL GENERAL NOTES

1.0 General

- 1.1 These drawings are
 - a) Jointly owned by HiTen Buildings and Shed Engineering Pty Ltd
 - b) Provided for the sole purpose of obtaining building approval and guiding construction of a single building at the job address shown in the title block
 - c) Prohibited to be used for any other purpose without written authorisation from HiTen Buildings and Shed Engineering Pty Ltd.
 - d) Only valid if signed by the engineer and must not be altered in any way without signed approval from the engineer.
 - e) Produced to scale but dimensions shall not be obtained by measuring the drawings. All dimensions are in millimeters unless stated otherwise.
- 1.2 The engineer accepts no liability or responsibility for the contents of drawings that are invalid.
- 1.3 The word 'the engineer' used in these notes refers to an employee or nominated representative of Shed Engineering Pty Ltd.
- 1.4 The engineer is not the project manager or site supervisor for this project. It is the responsibility of the project manager or site supervisor in charge to ensure that the non-structural requirements of the Governing Building Code are considered and appropriately designed. This includes, but not limited to, fire & bushfire design, access requirements, future roof access requirements, lighting, glazing and electrical design, etc.

2.0 Structural Design

- 2.1 The structural framing components detailed in these drawings have been designed in accordance with the following documents for the design criteria detailed in these notes

Governing Building Code Loading Standards	2022 National Construction Code – Building Code of Australia Volume 2 and 2022 Housing Provisions Standard AS/NZS 1170.0:2002(+A5) AS/NZS 1170.1:2002(+A2) AS/NZS 1170.2:2021
Cold formed Steel member standard	AS/NZS 4600:2018
- 2.2 These drawings are also the limit of the Structural Design, any requirements for additional structural design of other items included in the project are specifically excluded if not shown on these drawings. This includes, but not limited to, requirements for additional loads that aren't specified including flood design loads, additional roof loads from solar panels, retaining walls required on site, driveway design etc.
- 2.3 These structural drawings and specifications represent the finished structure. The building is not considered complete until the installation of all components and details shown herein are installed according to the drawings.
- 2.4 No alterations are to be made to this structure without written approval of the engineer. This includes, but not limited to, modification to the plans and/or specifications, be the installation of additional openings, increased roof loads, skylight roof sheets or removal of cladding. If changes are made without written approval, such changes shall the legal and financial responsibility of the contractor or sub-contractors involved and it shall be their full responsibility to replace or repair the condition of the building as directed by the engineer.

3.0 Design Criteria

Building class.....	10a
Building Importance level.....	2
Wind region.....	A4
Terrain category.....	2.5
Topographic multiplier.....	1
Shielding multiplier.....	1
Ultimate design wind speed.....	39.2 m/s
Snow load.....	0.00 kPa
Slab imposed load.....	2.5 kPa or 9kN applied over 0.3x0.3m area (light vehicles)
Allowable bearing capacity of foundation supporting footings.....	100 kPa
Allowable bearing capacity of foundation supporting slab.....	50 kPa
Allowable skin friction of foundation.....	25 kPa
Soil Type.....	Non-aggressive (not saline or acid sulfate)

4.0 Installation Building Contractor Responsibilities

- 4.1 The contractor shall verify and confirm all site conditions and dimensions. Any discrepancies between drawings and site conditions shall be referred to the engineer for decision before proceeding with the work.
- 4.2 All workmanship and materials are to be in accordance with the Governing Building Code including all relevant Australian Standards and local statutory authorities except where varied by the contract documents.
- 4.3 The contractor shall be responsible for maintaining the structure in a stable condition and ensuring no part is overstressed under construction activities. They shall provide all temporary bracing, shoring or other means to avoid excessive stresses and to hold structural elements in place during erection. These temporary provisions shall remain in place until sufficient permanent members are erected to ensure the safety of partially erected structures. The contractor is responsible for meeting all laws regulating the erection of steel buildings including, but not limited to, Safe Work Australia guidelines.
- 4.4 The contractor shall be responsible for the location of all services in the vicinity of the works. Any services shown are provided for information only. The contractor shall confirm the location of all services prior to commencing and shall be responsible for the repair of any damage caused to services, as well as any loss incurred because of the damage to any service.

5.0 Foundation

- 5.1 The bearing capacity of the foundation supporting the footings and slab shall be confirmed before any concrete is placed.
- 5.2 No earth or debris is to fall into the footings or piers before and during placing of concrete.
- 5.3 All footings shall be located centrally under walls and columns unless noted otherwise.
- 5.4 Concrete embedment depths do not apply to locations where any uncompacted fill or disturbed ground exists or where walls of the excavation will not stand without support. Request further advice from the engineer in these circumstances.
- 5.5 Fill used for the support of a slab on ground shall be controlled fill or rolled fill as in accordance with clause 6.4.2 of AS 2870-2011.
- 5.6 Slabs less than 100sq.m in plan area are suitable for AS 2870-2011 site classes A, S & M. For larger slabs or for site classes M-D, H1, H1-D, H2, H2-D, E & E-D, the slab may experience cracking more than is considered normally acceptable. The cracking is considered of aesthetic concern only and should not effect the structural performance of the slab or shed. If this is not desired, contact the engineer for further advice.

6.0 Concrete

- 6.1 Concrete placement and workmanship shall be in accordance with AS 3600-2018 & AS 2870-2011.
- 6.2 Concrete shall be
 - a) N25 with slump of 100 mm in accordance with AS 1379-2007, with 20 mm maximum nominal aggregate size and no admixtures.
 - b) consolidated by mechanical vibration.
 - c) Cured for a minimum of 7 days using continuous ponding with potable water.
- 6.3 No holes, chases or embedment of pipes other than those shown on the drawings shall be made in concrete members without prior approval of the engineer.

7.0 Reinforcement

- 7.1 Reinforcement shall comply with AS/NZ 4671-2019.
- 7.2 Reinforcement is represented diagrammatically and not necessarily shown in true projection.
- 7.3 Welding of reinforcement shall not be permitted without the approval of the engineer.
- 7.4 All reinforcement shall be securely supported in its correct position ensuring the correct cover during placing of concrete by approved bar chairs, spacers or support bars. Approved chairs include stainless steel or plastic bar chairs for bottom reinforcement and plastic tipped wire bar chairs for top reinforcement. All chairs to be spaced at maximum of 750mm centres.
- 7.5 Cover to reinforcement shall be:
 - a) 50mm for surfaces of concrete in contact with the ground;
 - b) 30mm for top surfaces of slabs fully enclosed by the building without open bays or
 - c) 60mm for top surfaces of slabs more than 1 km from the coastline with open bays.
 - d) For buildings with open bays within 1km of the coast, contact the engineer for cover and concrete grade requirements.
- 7.6 Reinforcement shall be lapped 500mm for 12mmØ bars and 800mm for 16mmØ bars.
- 7.7 Mesh reinforcement shall be lapped such that the two outermost wires of one sheet overlap the two outermost wires of the other sheet by 25 mm.
- 7.8 Hooks, bends and cogs to be in accordance with AS 3600-2018 unless noted otherwise on drawings.

8.0 Anchor Bolts

- 8.1 All anchors bolts shall be installed in accordance With the manufacturer's installation instructions.
- 8.2 Drill holes using a percussion drill (coring not permitted) to the correct hole diameter and depth as specified in the drawings.
- 8.3 Thoroughly clean and blow the dust out of the holes using the cleaning accessories prescribed by the manufacturer's instructions.
- 8.4 Substitution of anchors bolts and chemical epoxy adhesive is not permitted unless written confirmation from the engineer is provided.
- 8.5 For chemical anchors, ensure load is not applied to the anchors whilst epoxy adhesive is curing.

9.0 Light Gauge Cold-formed Steel

- 9.1 All light gauge cold-formed steel shall comply with AS 1397-2021 and be the following grades

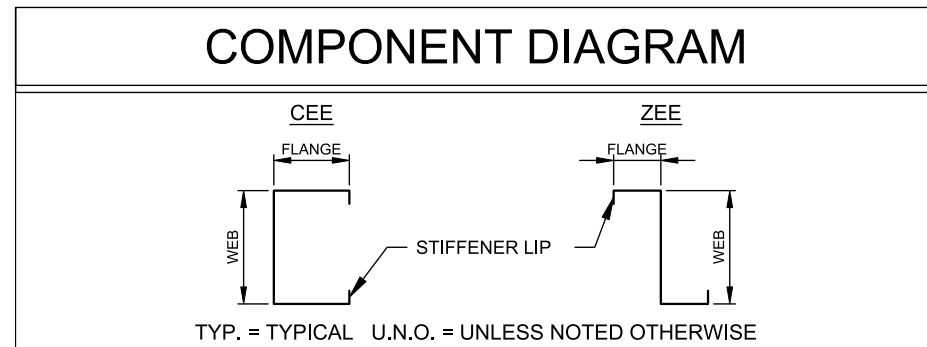
Thickness(mm)	Steel grade (yield stress, MPa)	Protective coating (g/m2)
BMT ≤ 1.0mm	G550	Z350
1.0mm < BMT < 1.5mm	G500	Z350
1.5mm ≤ BMT ≤ 3.0mm	G450	Z350
- 9.2 Welding of light gauge cold-formed steel shall not be permitted.
- 9.3 Column and rafter members shall not be drilled or notched without prior approval of the engineer.
- 9.4 Round holes may be drilled through any girt or purlin member within the middle third of the depth of that member and not within 600mm of member end unless noted otherwise.
- 9.5 All bolts used to connect light gauge cold-formed steel members shall be
 - a) Zinc coated M12 (min.) grade 4.6 snug tightened complying to AS 1111.1-2015 & AS 1112.3-2015 unless noted otherwise.
 - b) Spaced no less than 3 bolt diameters between centres.
 - c) Located no less than 1.5 bolt diameters from bolt centre to the end or edge of any light gauge member.
- 9.6 All screws used to connect light gauge cold formed steel members (excluding sheeting) shall be
 - a) 10g (min.) self-drilling screws complying with AS 3566.1-2002.
 - b) Corrosion resistance class 4 in accordance with AS 3566.2-2002 for buildings within 1 km from the coastline with open bays or class 3 otherwise.
 - c) Spaced no less than 3 bolt diameters between centres.
 - d) Located no less than 1.5 bolt diameters from bolt centre to the end or edge of any light gauge member.

10.0 Roof & Wall Sheeting

- 10.1 Roof & wall sheeting shall comply with AS 1397-2018 and have suitable corrosion protection complying with Table 7.2.2a of the 2022 Housing Provisions Standard.
- 10.2 During construction and maintenance, no foot traffic shall occur within end spans of sheeting, foot traffic shall occur
 - a) Evenly across at least two ribs for corrugated profiled sheeting or
 - b) In the pans for pan-type profiled sheeting.
- 10.3 Any roof skylights shall be approved by the engineer
- 10.4 Safety mesh shall be installed in accordance with the building code

11.0 Door & Window Components

- 11.1 Wind-locked roller doors are assumed to remain in-place and resist the ultimate limit state wind loading except for in cyclonic regions
- 11.2 Non-wind-locked roller doors are assumed to have failed at the ultimate limit state wind loading
- 11.3 Personal access doors shall be rated for the wind loading parameters stated in the design criteria (see section 3.0)
- 11.4 All windows shall be in accordance with AS 1288-2021 & AS 2047-2014(+A2) as appropriate for the wind loading parameters stated in the design criteria (see section 3.0)



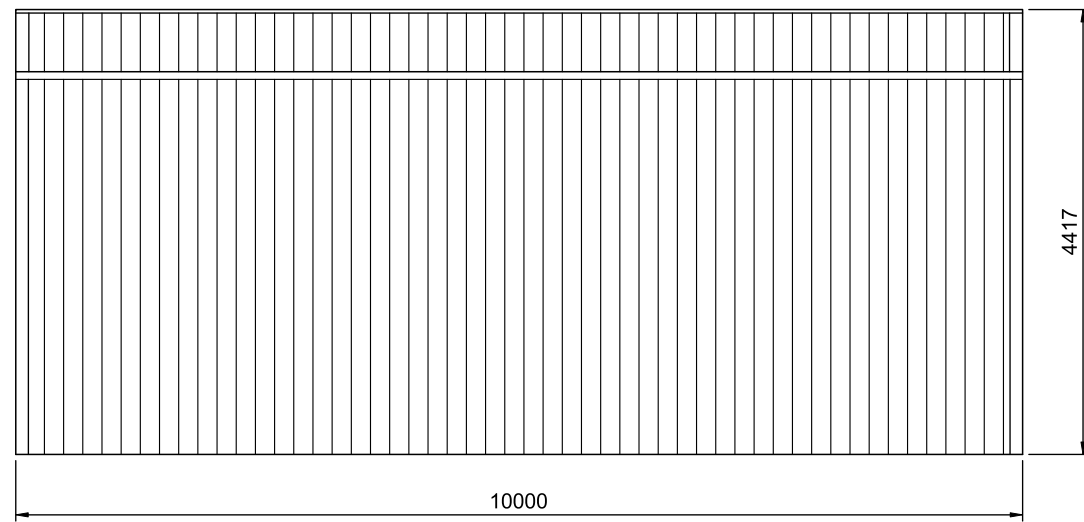
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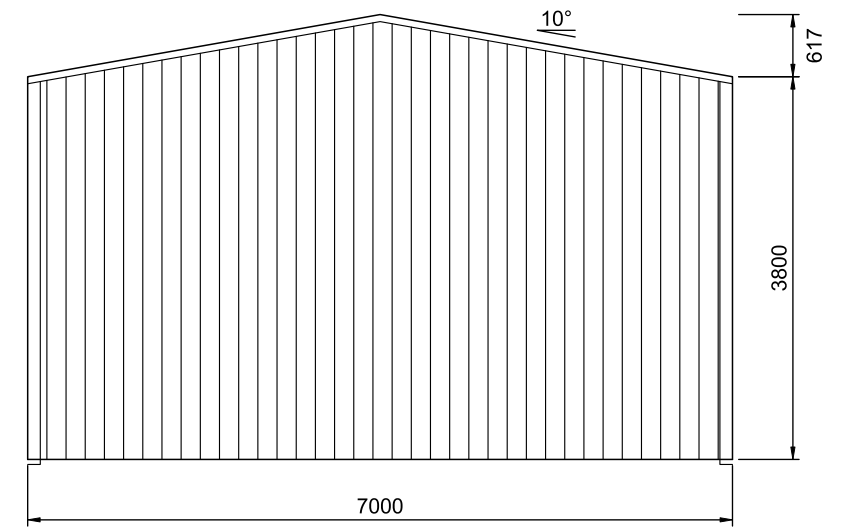
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 Grant J Wood MIEAust CPEng NER RPEQ
 Registered EA Chartered Professional Engineer (No. 2383009)
 Registered Professional Engineer QLD (No. 14384)
 Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
 Registered Certifying Engineer (structural) NT (No. 306371ES)

Customer Name: Emma Dent
 Site Address: 16 Hill Court
 Wynyard,
 TAS, 7325

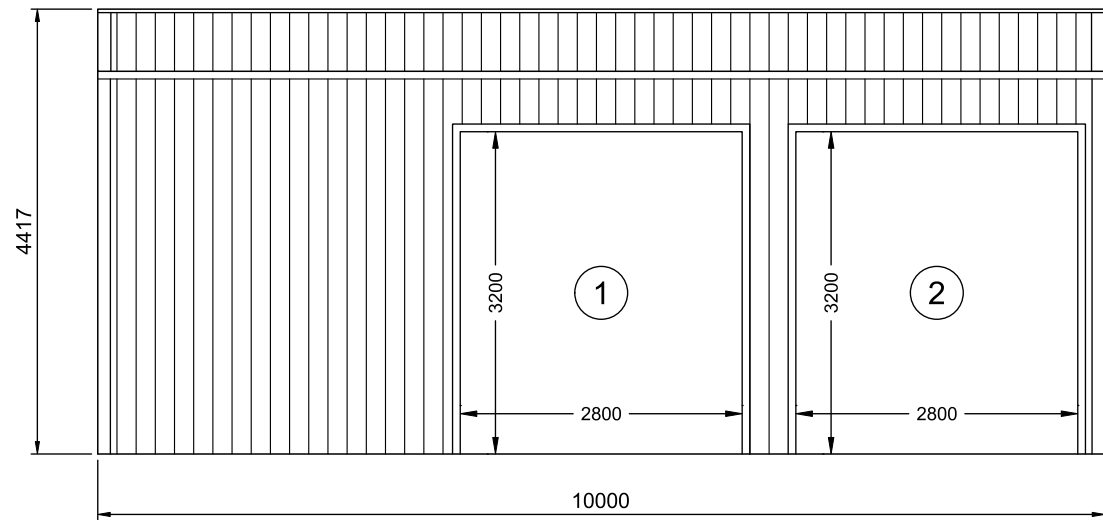
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 JOB NO. HGOR94214284
 SHEET 1 of 10



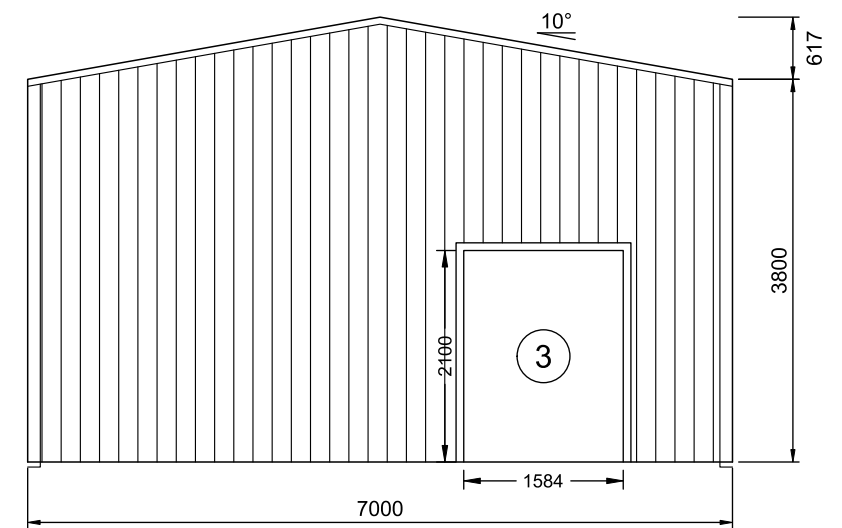
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2 SCALE: 1:75



3 REAR BUILDING ELEVATION
2 SCALE: 1:75 FRAME #4



1 SIDEWALL A BUILDING ELEVATION
2 SCALE: 1:75



4 FRONT BUILDING ELEVATION
2 SCALE: 1:75 FRAME #1

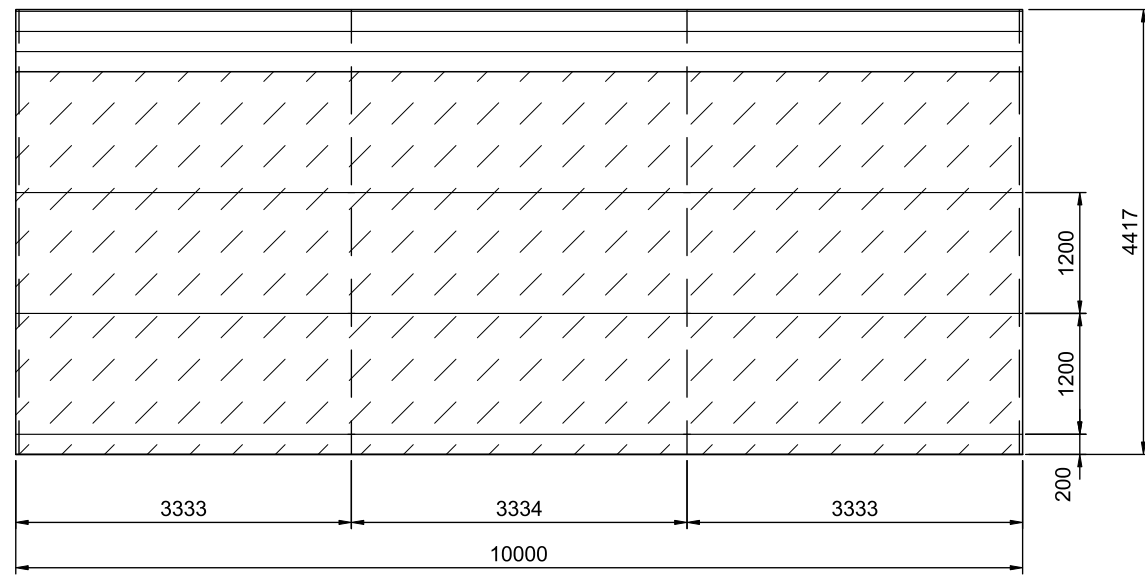
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Signed *[Signature]* Date 02-04-2024
 Grant J Wood MIEAust CPEng NER RPEQ
 Registered EA Chartered Professional Engineer (No. 2383009)
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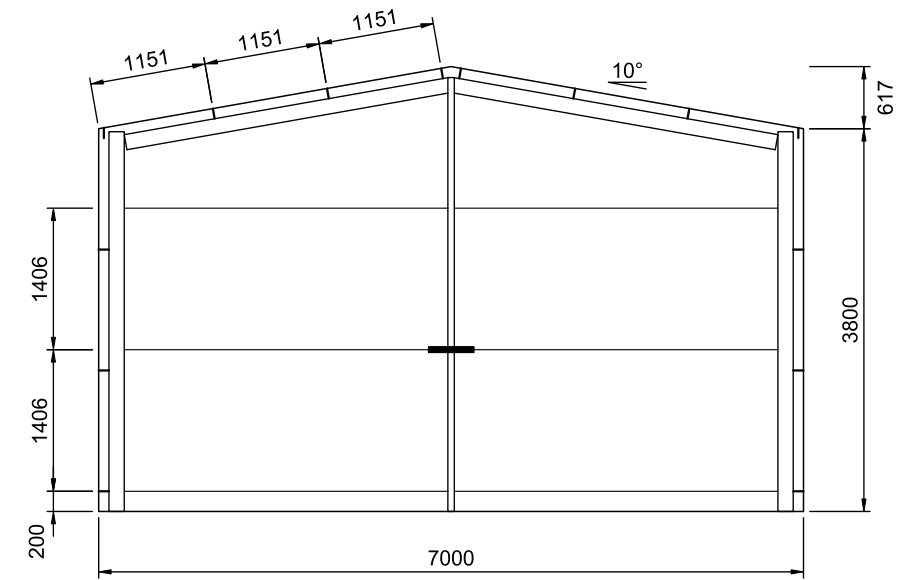
Customer Name: Emma Dent
 Site Address: 16 Hill Court
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DATE 02-04-2024
 JOB NO. HGOR94214284
 SHEET 2 of 10



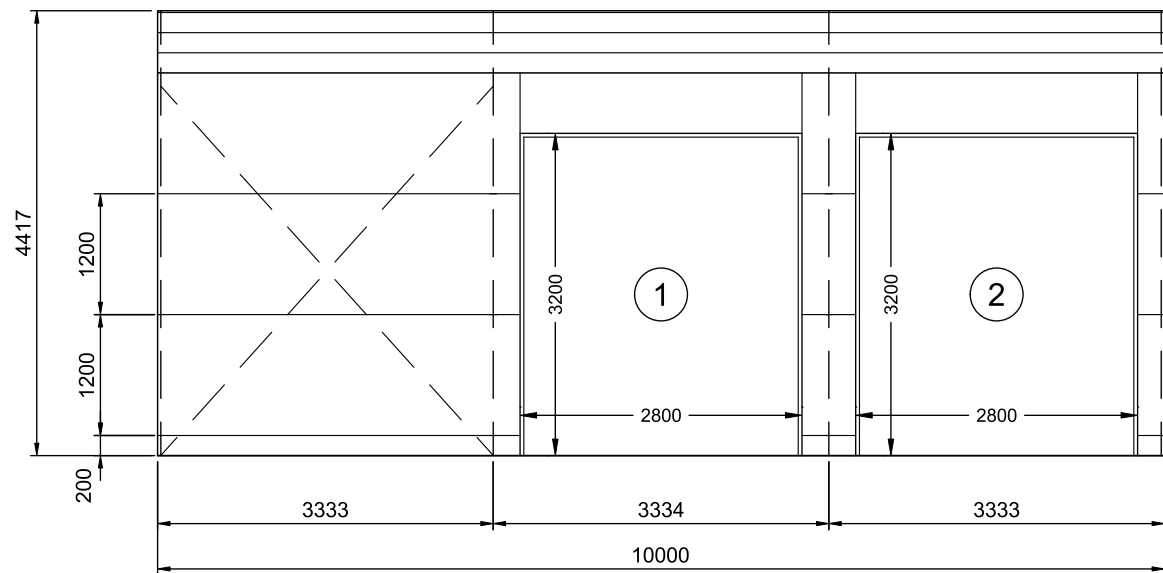
DIAPHRAGM SCHEDULE
SHEETING IN DIAPHRAGM SECTIONS (SHOWN AS HATCHED AREA ON ELEVATIONS) NOT TO BE CUT UNDER ANY CIRCUMSTANCES

WALL	DISTANCE FROM WALL EDGE
Sidewall 'B'	0-10000

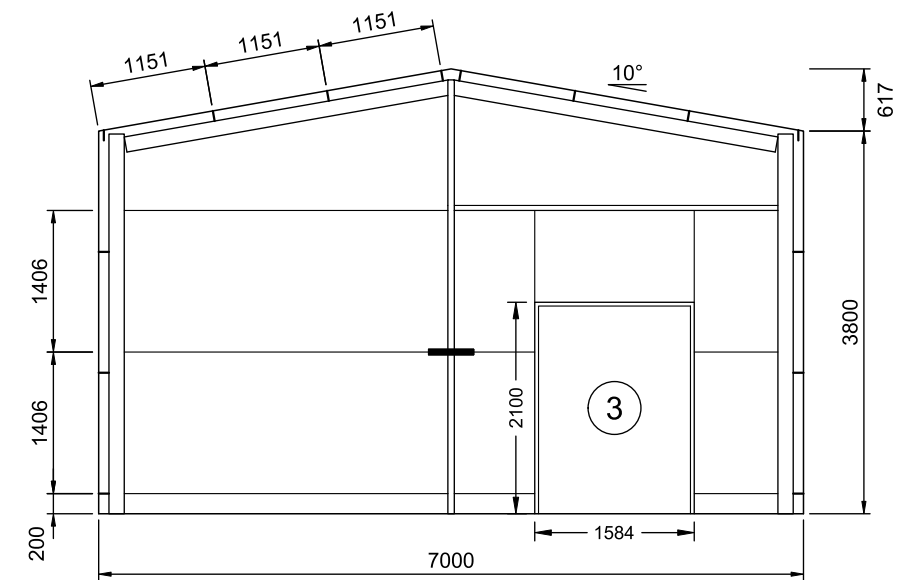


2 SIDEWALL B FRAMING ELEVATION
3 SCALE: 1:75

3 REAR FRAMING ELEVATION
3 SCALE: 1:75 FRAME #4



1 SIDEWALL A FRAMING ELEVATION
3 SCALE: 1:75



4 FRONT FRAMING ELEVATION
3 SCALE: 1:75 FRAME #1

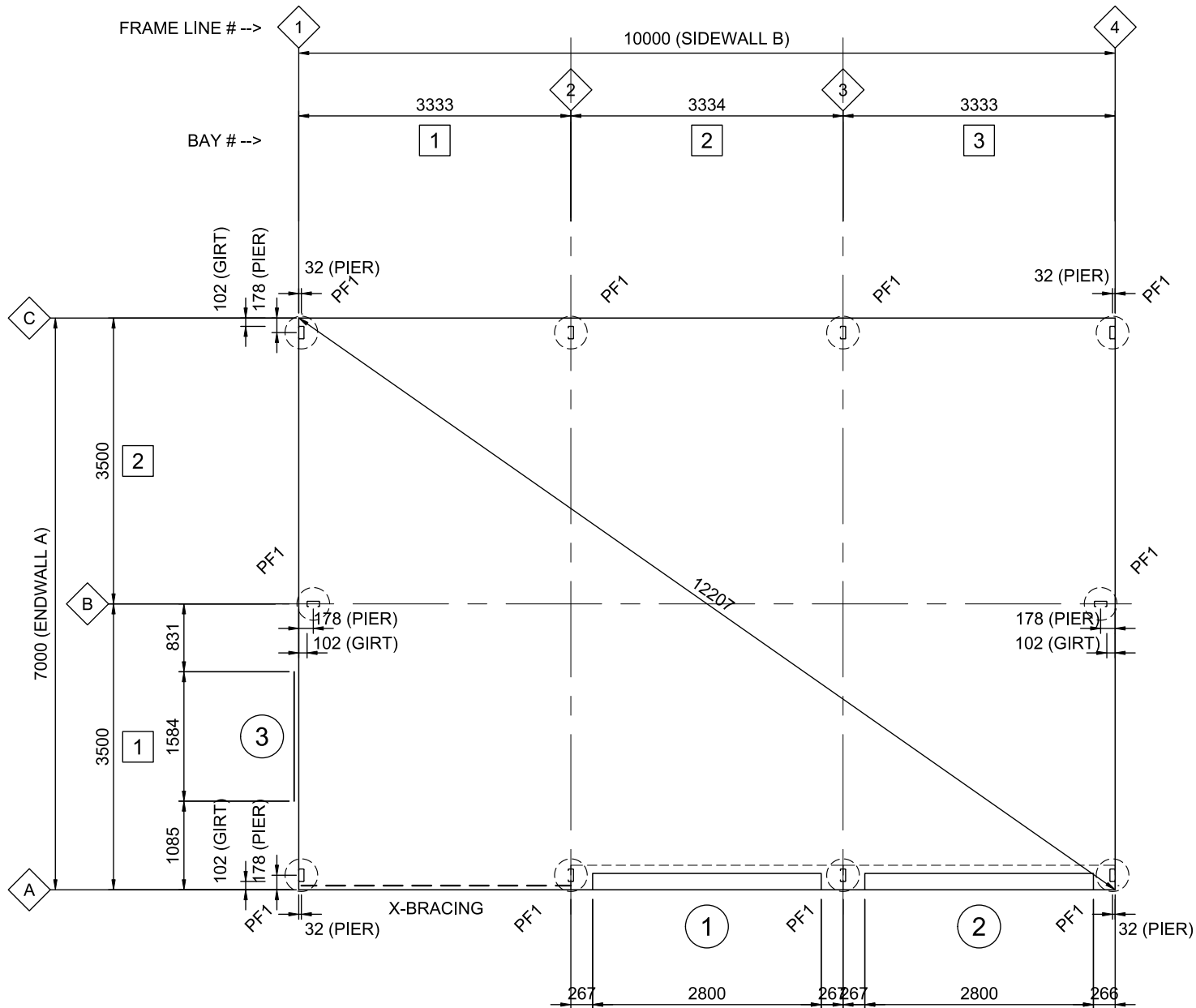
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Signed *[Signature]* Date 02-04-2024
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Registered Professional Engineer QLD (No. 14384)
Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
Registered Certifying Engineer (structural) NT (No. 306371ES)

Customer Name: Emma Dent
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TAS, 7325

DATE 02-04-2024
JOB NO. HGOR94214284
SHEET 3 of 10

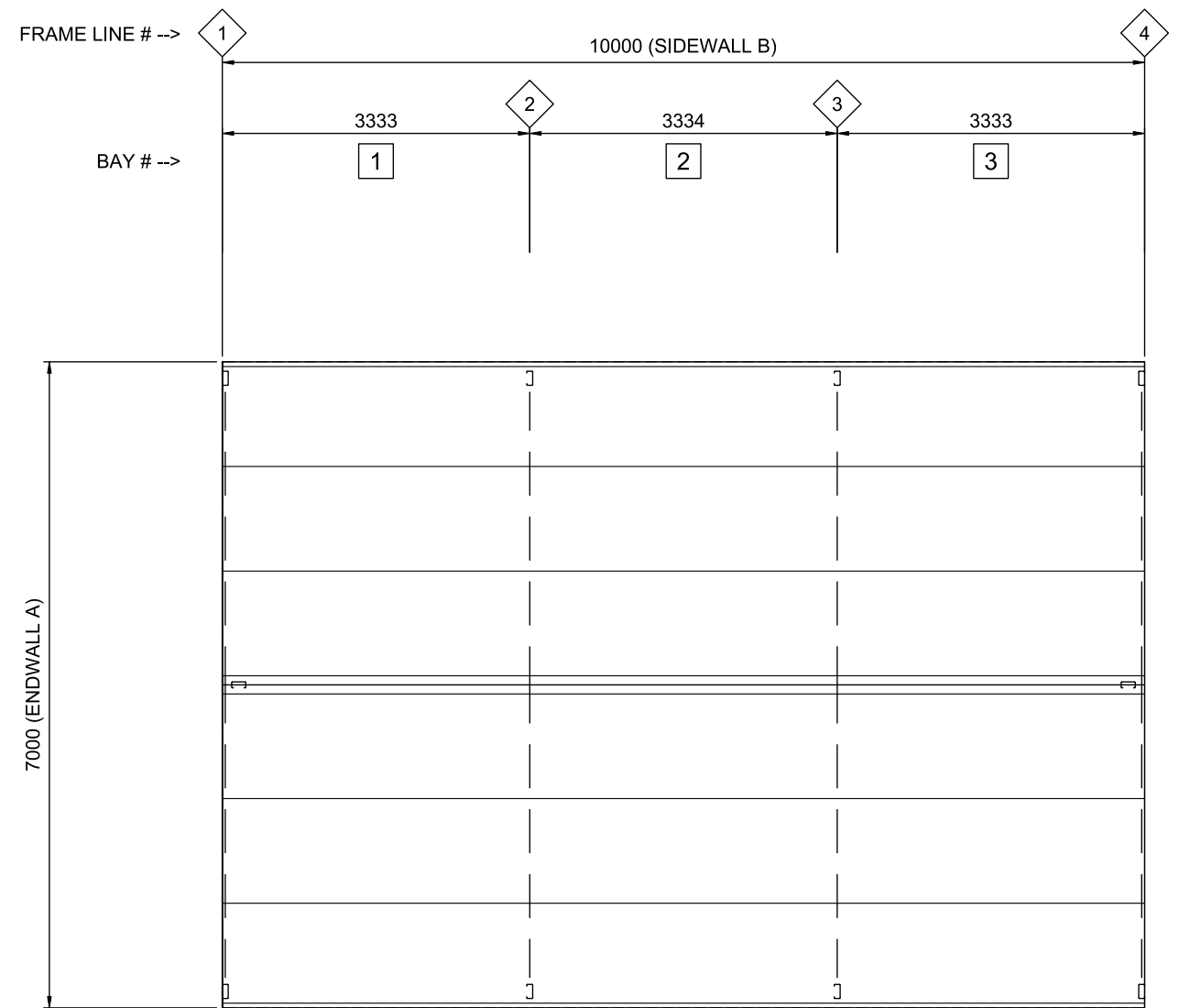


1 FOOTING/SLAB FLOOR PLAN

SCALE: 1:75 PF1 - 400Ø REINFORCED CONCRETE PIERS TO DETAIL

SLAB IS DESIGNED FOR CARS AND LIGHT VANS
NOT EXCEEDING 3500kg GROSS MASS

CONCRETE CONTROL JOINTS SHALL BE PROVIDED IN SLAB TO DETAIL AT NOT MORE THAN 10m CENTRES IN EACH DIRECTION, APPROXIMATELY EQUALLY SPACED AND LOCATED APPROXIMATELY MIDWAY BETWEEN COLUMNS/MULLIONS



2 ROOF FRAMING PLAN

SCALE: 1:75

ROOF SHEETING IS USED AS DIAPHRAGM TO BRACE THE BUILDING AND IS NOT TO BE CUT UNDER ANY CIRCUMSTANCES

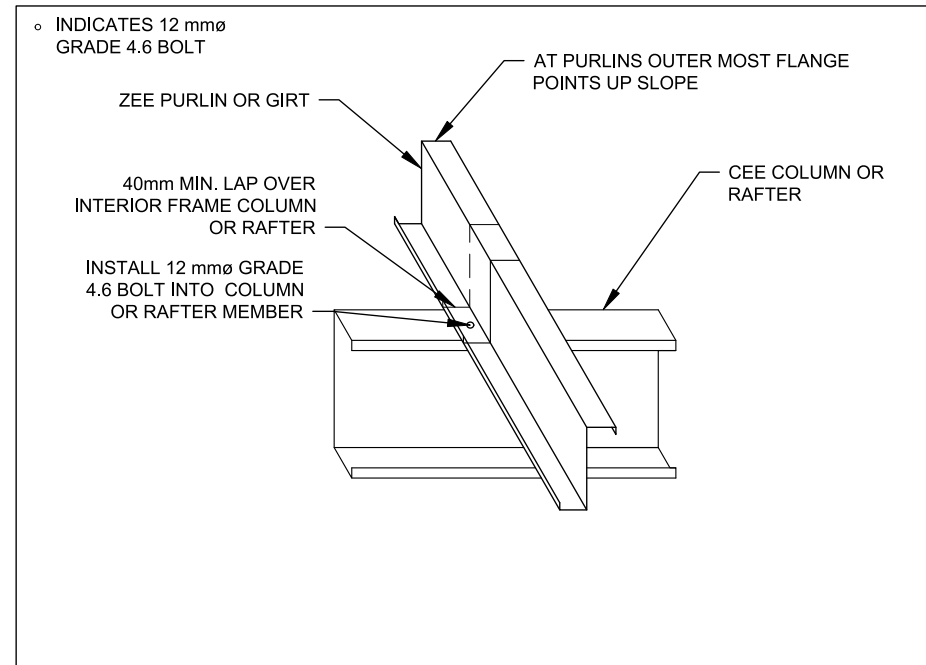
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Signed *[Signature]* Date 02-04-2024
 Grant J Wood MIEAust CPEng NER RPEQ
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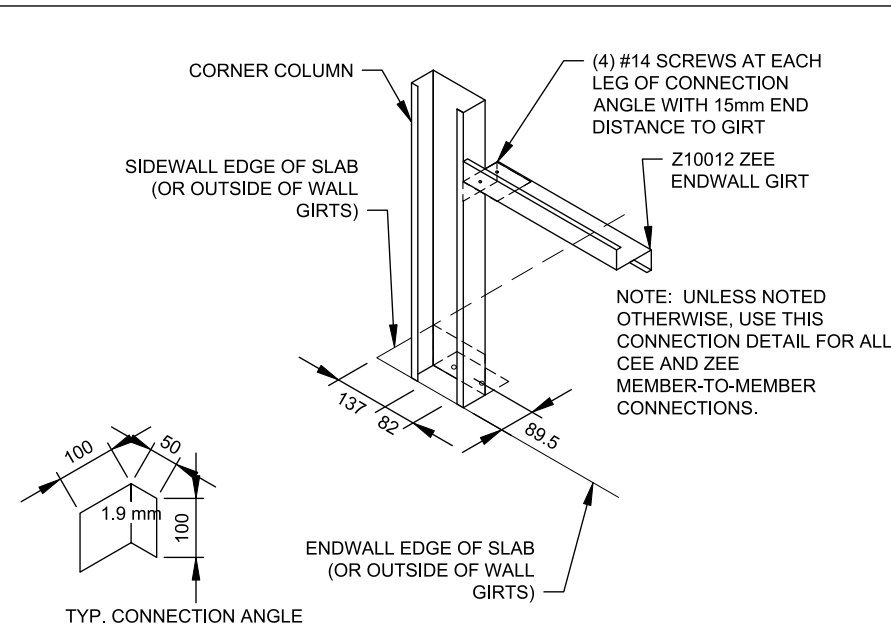
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 TAS, 7325

DATE 02-04-2024
 JOB NO. HGOR94214284
 SHEET 4 of 10



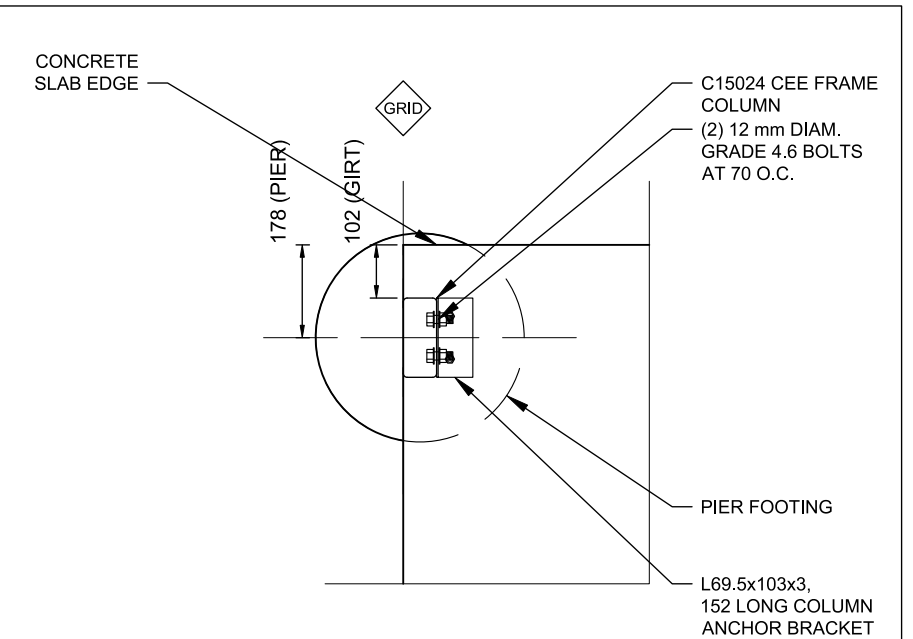
D

ZEE PURLIN/GIRT CONNECTION



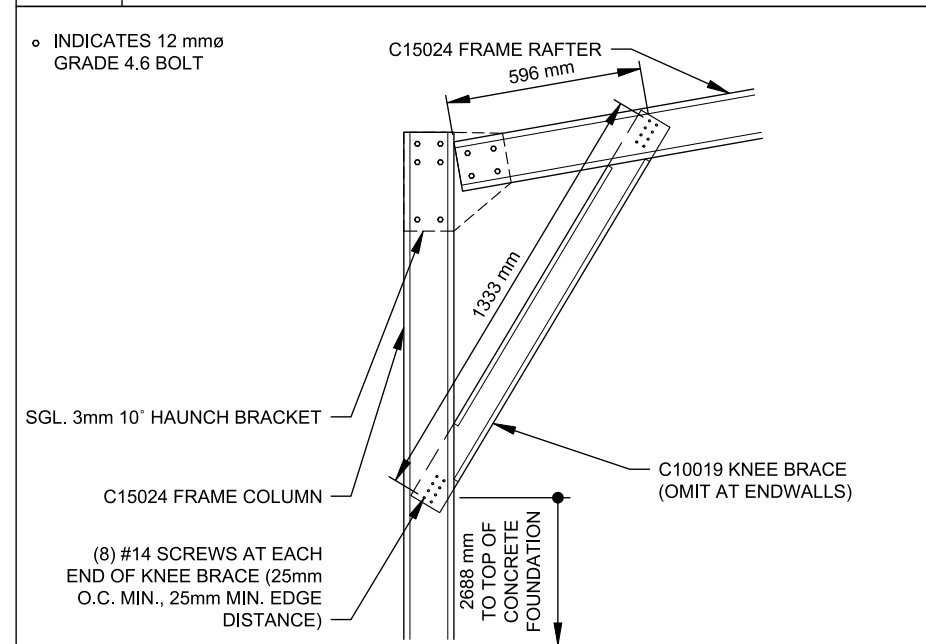
E

GIRTS IN-LINE CORNER COLUMN CONNECTIONS



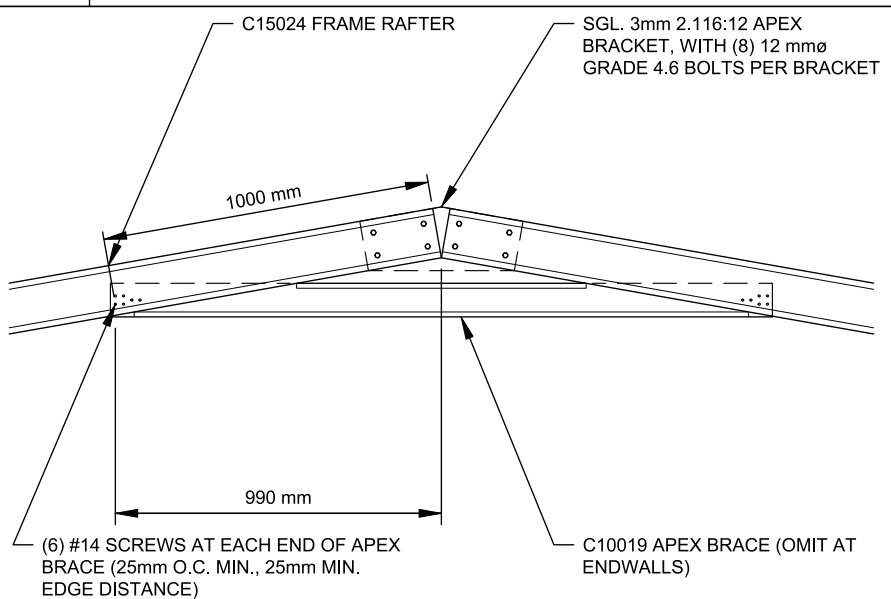
F1

CORNER COLUMN BASE DETAIL



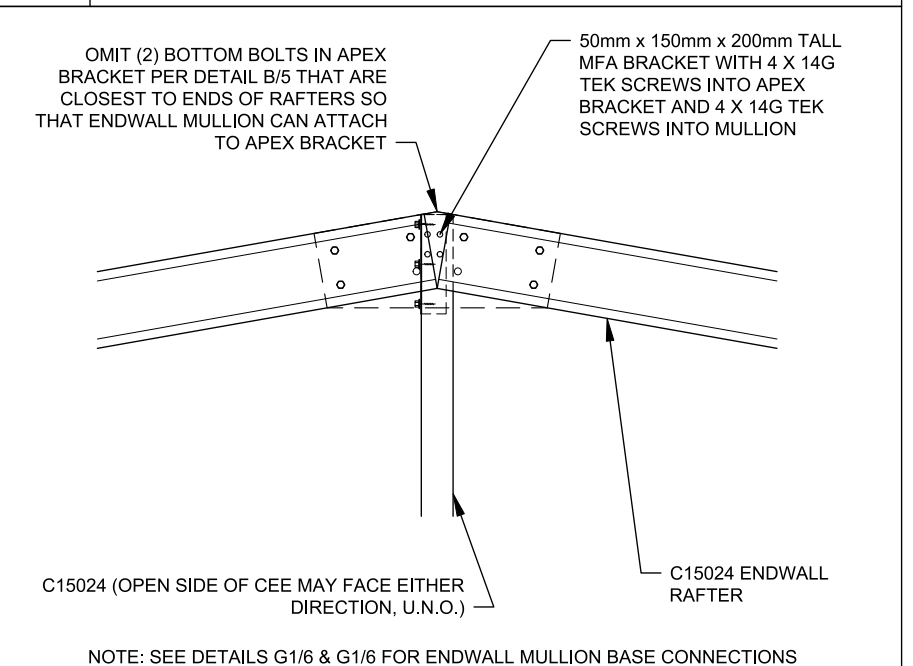
A

HAUNCH CONNECTION



B

APEX CONNECTION



C

ENDWALL MULLION TO RAFTER PEAK CONDITION

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE

REV	DATE	DESCRIPTION
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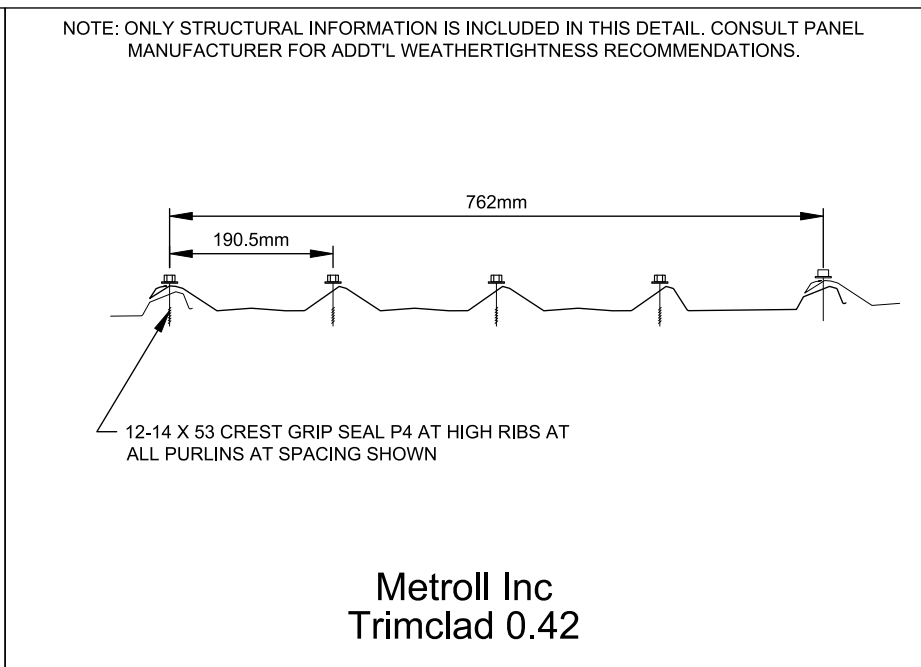
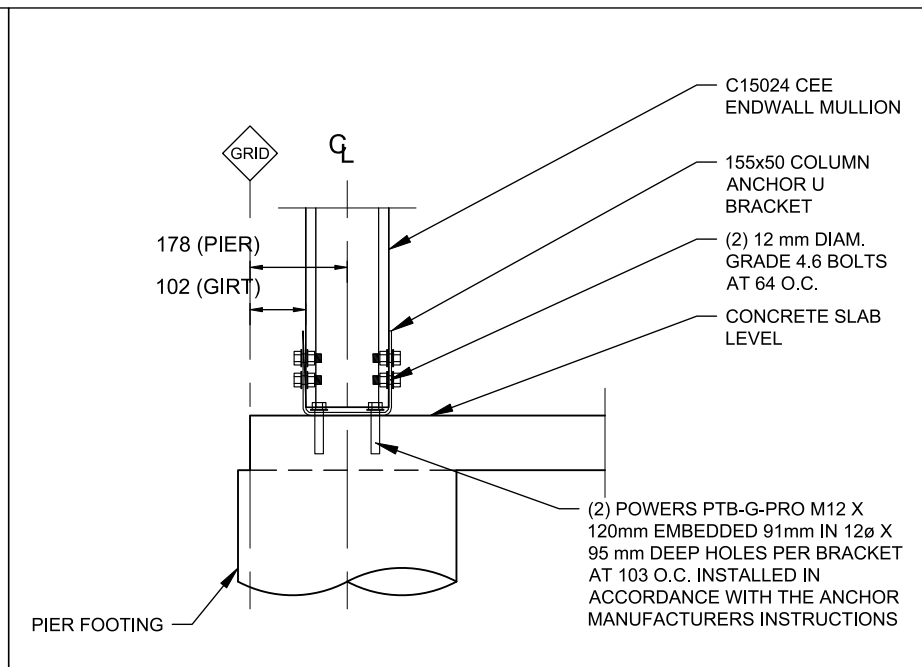
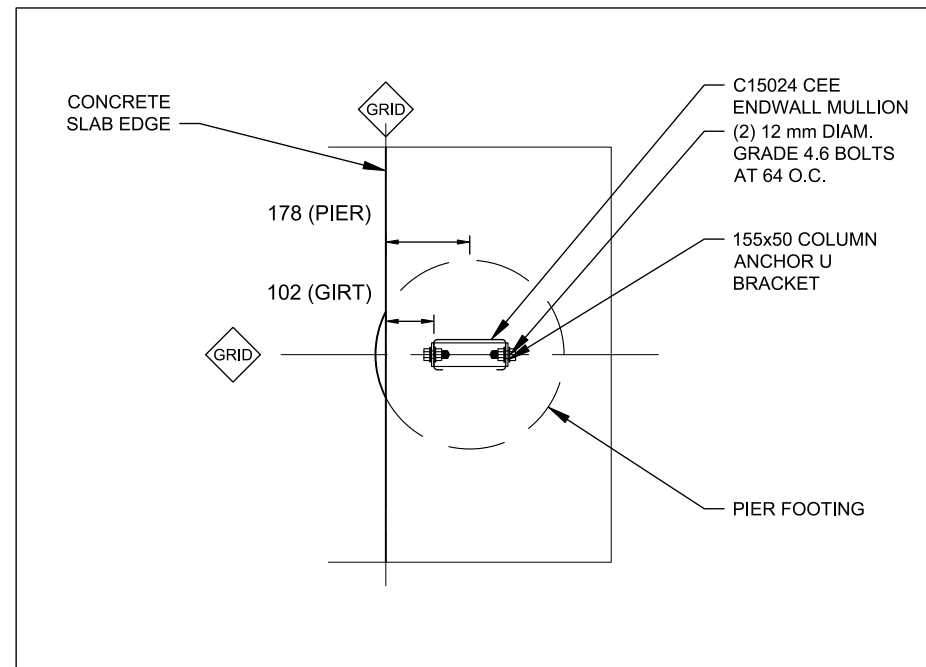
ANOTHER COLD FORMED BUILDING DESIGNED BY ACT BUILDING SYSTEMS

SHED ENGINEERING
admin@shedeng.com.au
PO Box 3084 AUSTINMER NSW 2515

Signed *[Signature]* Date 02-04-2024
Grant J Wood MIEAust CPEng NER RPEQ
Registered EA Chartered Professional Engineer (No. 2383009)
Registered Professional Engineer QLD (No. 14384)
Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
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Customer Name: Emma Dent
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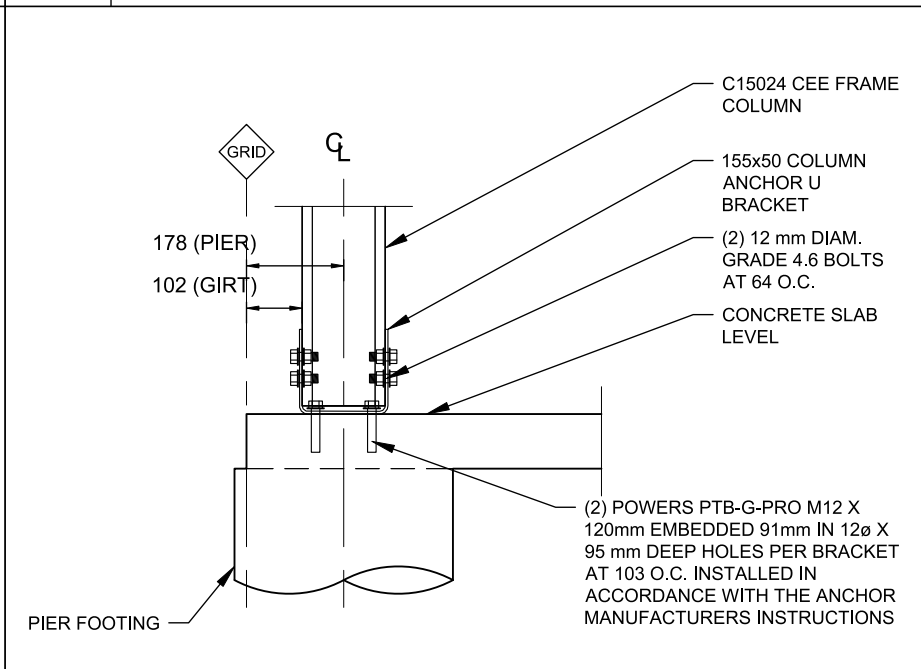
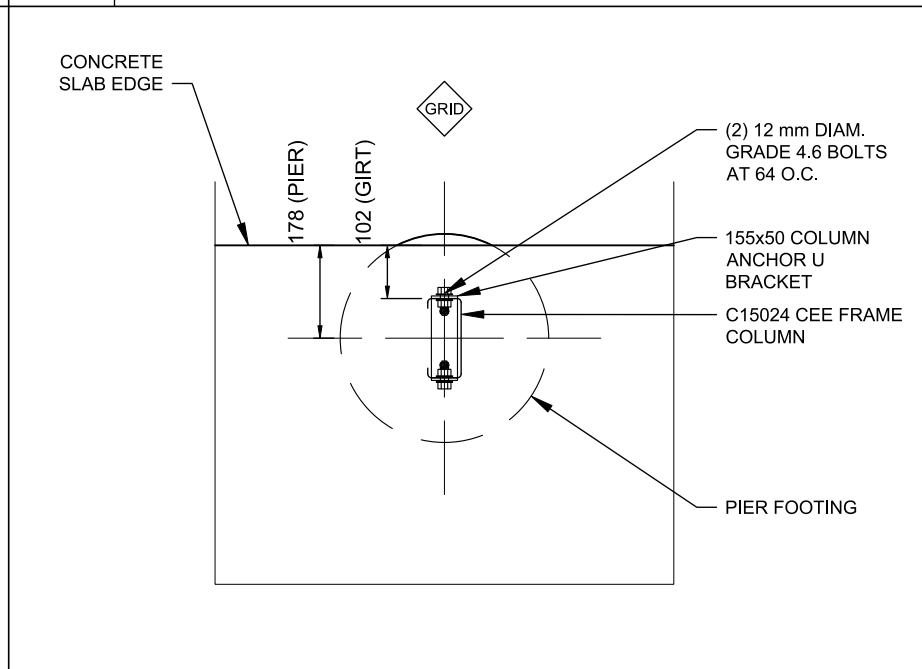
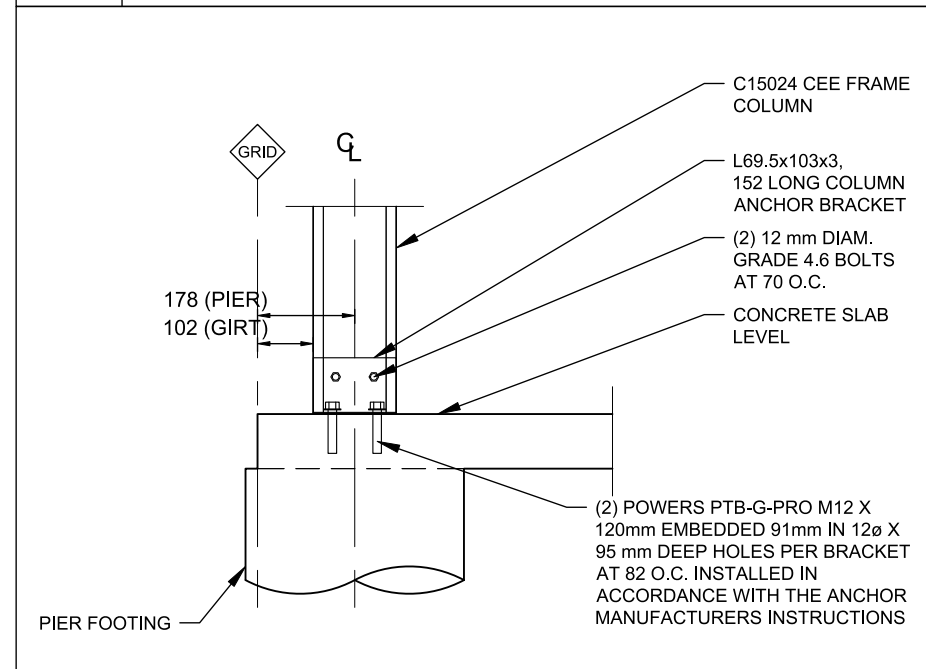
DATE 02-04-2024
JOB NO. HGOR94214284
SHEET 5 of 10



G1 ENDWALL MULLION BASE DETAIL

G2 ENDWALL MULLION BASE DETAIL 2

H ROOF SHEETING



F2 CORNER COLUMN BASE DETAIL 2

F3 FRAME COLUMN BASE DETAIL

F4 FRAME COLUMN BASE DETAIL 2

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE

REV	DATE	DESCRIPTION
A	02-04-2024	-



ANOTHER
COLD FORMED BUILDING
DESIGNED BY
ACT BUILDING SYSTEMS

SHED ENGINEERING
admin@shedeng.com.au
PO Box 3084 AUSTINMER NSW 2515

Signed *[Signature]* Date 02-04-2024
Grant J Wood MIEAust CPEng NER RPEQ
Registered EA Chartered Professional Engineer (No. 2383009)
Registered Professional Engineer QLD (No. 14384)
Registered Civil Engineer Building Practitioner VIC (No. PE0002499)
Registered Certifying Engineer (structural) NT (No. 306371ES)

Customer Name: Emma Dent
Site Address: 16 Hill Court
Wynyard,
TAS, 7325

DATE 02-04-2024
JOB NO. HGOR94214284
SHEET 6 of 10

<p>K1 OPENING CHANNEL JAMB GIRT CONNECTION</p>	<p>K2 OPENING ZEE JAMB GIRT CONNECTION</p>	<p>L1 CHANNEL JAMB TO HEADER GIRT CONNECTION</p>
<p>NOTE: ONLY STRUCTURAL INFORMATION IS INCLUDED IN THIS DETAIL. CONSULT PANEL MANUFACTURER FOR ADDTL WEATHERTIGHTNESS RECOMMENDATIONS.</p> <p>Metroll Inc Trimclad 0.42</p>		
<p>I WALL SHEETING</p>	<p>J1 PA DOOR JAMB BASE CONNECTION</p>	<p>J2 ROLLER DOOR JAMB BASE CONNECTION</p>

DETAIL DIMENSIONS ARE SHOWN IN MM UNLESS SPECIFIED OTHERWISE

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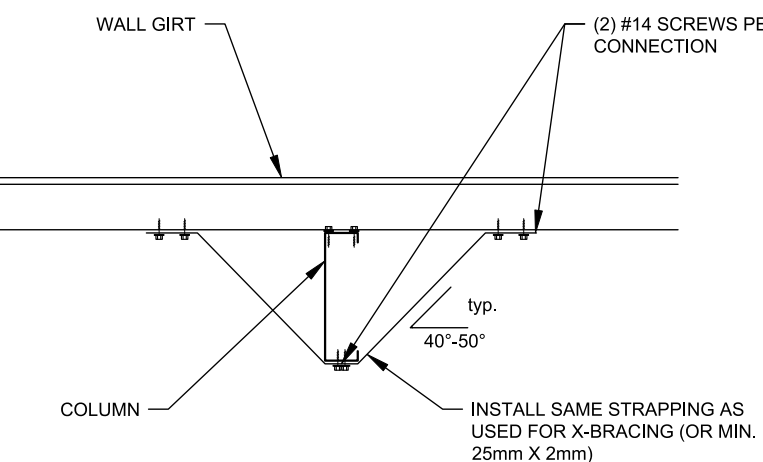
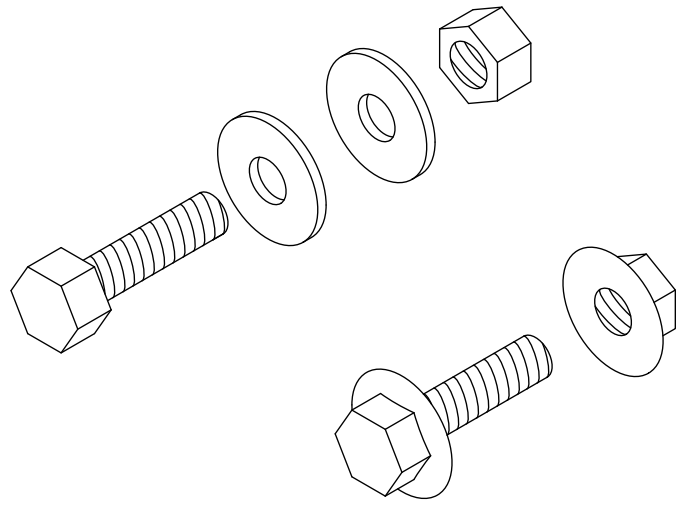
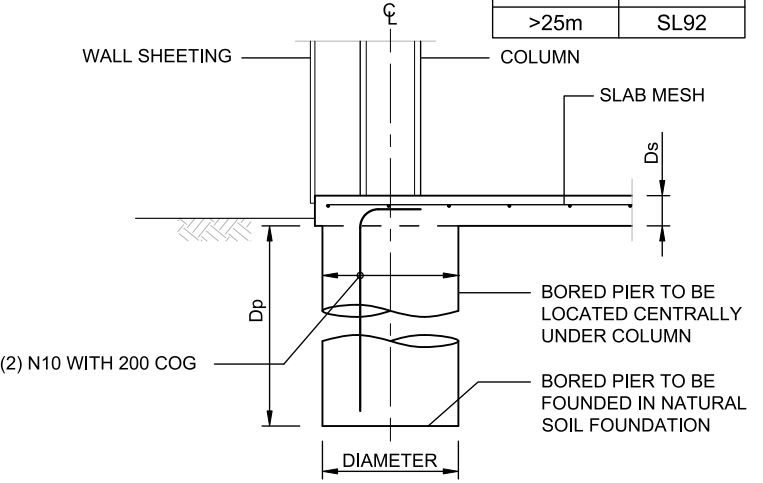
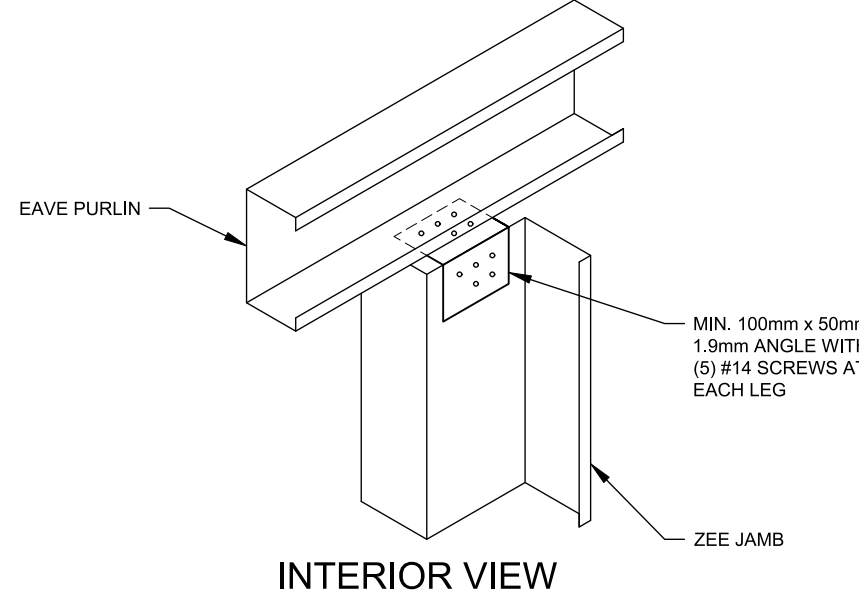
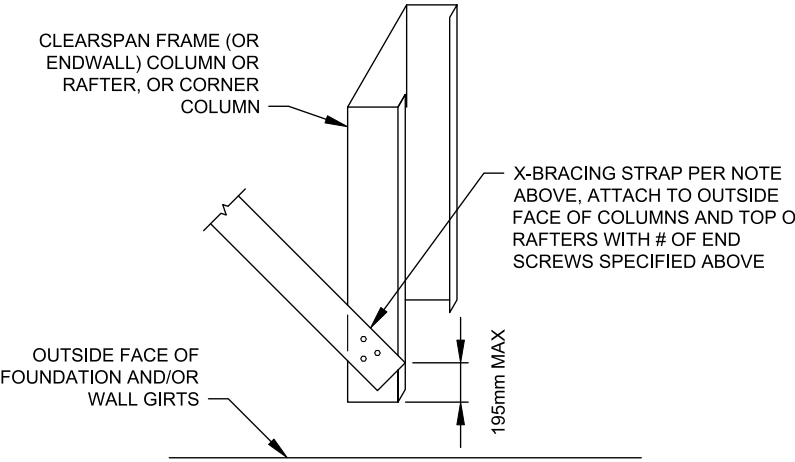
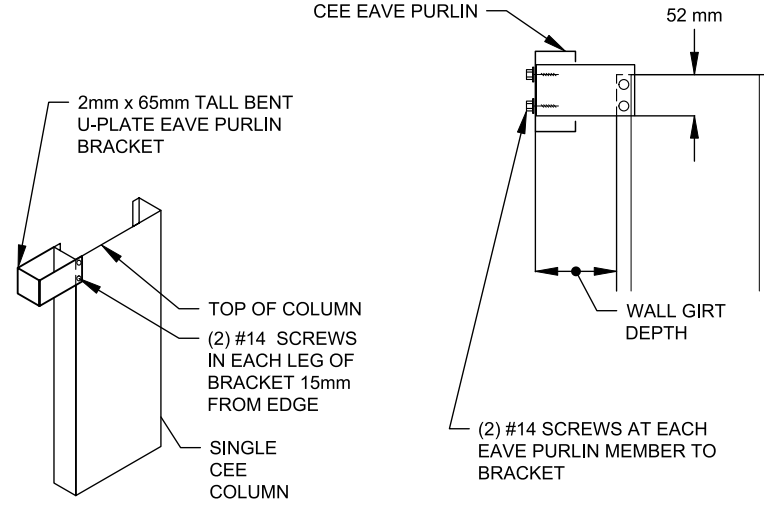
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COLD FORMED BUILDING
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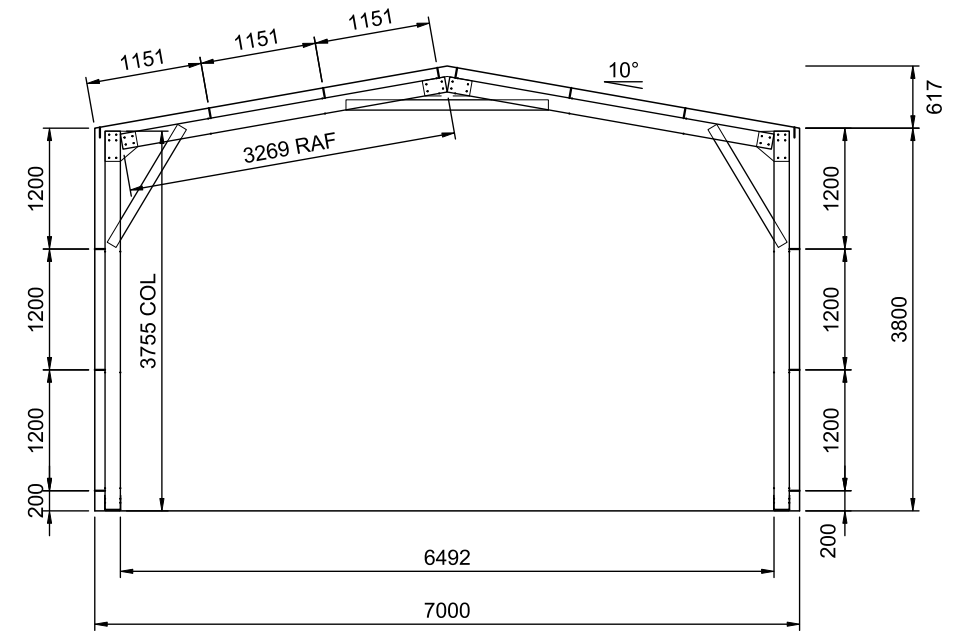
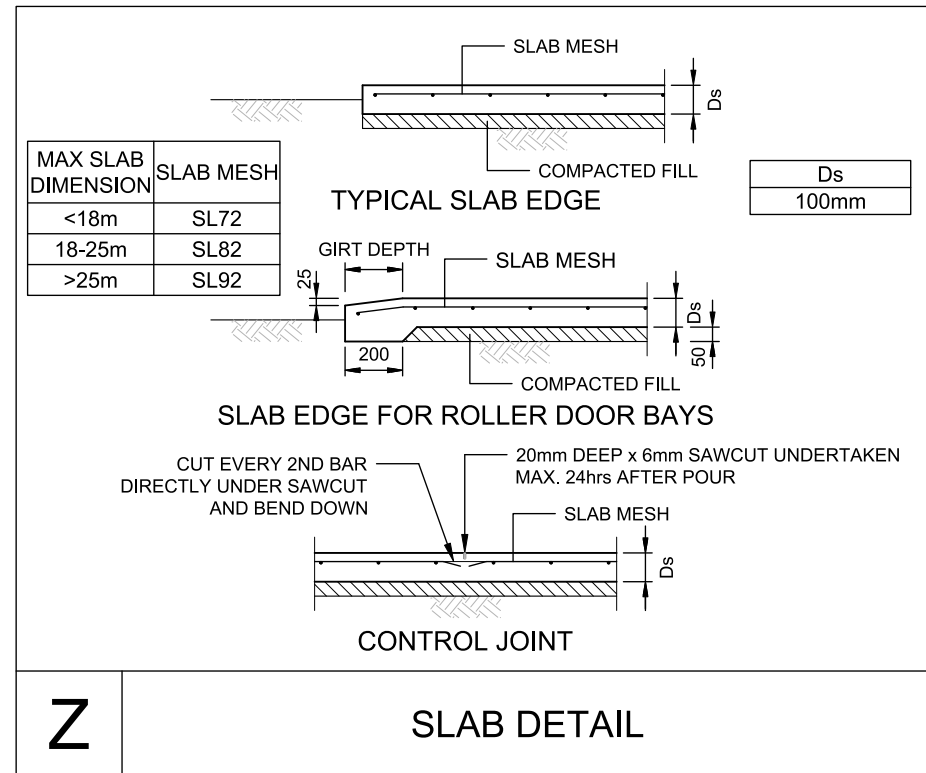
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<p>NOTE: SEE ELEVATIONS FOR LOCATIONS OF FLYBRACING.</p> 	<p>ALL NUTS AND BOLTS TO HAVE WASHER OR FLANGED HEADS</p> 	<table border="1" data-bbox="2166 94 2448 189"> <tr><td>Dp</td><td>600mm</td></tr> <tr><td>Diameter</td><td>400mm</td></tr> <tr><td>Ds</td><td>100mm</td></tr> </table> <table border="1" data-bbox="2537 94 2789 241"> <thead> <tr><th>MAX SLAB DIMENSION</th><th>SLAB MESH</th></tr> </thead> <tbody> <tr><td><18m</td><td>SL72</td></tr> <tr><td>18-25m</td><td>SL82</td></tr> <tr><td>>25m</td><td>SL92</td></tr> </tbody> </table> 	Dp	600mm	Diameter	400mm	Ds	100mm	MAX SLAB DIMENSION	SLAB MESH	<18m	SL72	18-25m	SL82	>25m	SL92
Dp	600mm															
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<p>P FLYBRACING CONNECTION</p>	<p>U BOLT OPTIONS</p>	<p>Y SLAB WITH PIER FOOTING DETAIL</p>														
 <p>INTERIOR VIEW</p>	<p>ENDWALL: N/A SIDEWALLS & ROOF: SGL. 32MM 1.2MM STRAP WITH (3) #14 SCREWS AT EACH END</p>  <p>NOTES: 1) CONNECT STRAP AT TOP OF ADJACENT COLUMN OR RAFTER IN SAME MANNER. 2) IF DOUBLE STRAPS ARE SPECIFIED ABOVE, INSTALL SIDE-BY-SIDE, NOT ON TOP OF EACH OTHER.</p>															
<p>L2 ZEE JAMB TO EAVE PURLIN CONNECTION</p>	<p>M ROOF AND WALL X-BRACING CONNECTION</p>	<p>O EAVE PURLIN BRACKET</p>														

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<table border="1"> <thead> <tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr> </thead> <tbody> <tr><td>A</td><td>02-04-2024</td><td>-</td></tr> </tbody> </table>	REV	DATE	DESCRIPTION	A	02-04-2024	-	 <p>ANOTHER COLD FORMED BUILDING DESIGNED BY ACT BUILDING SYSTEMS</p>	 <p>admin@shedeng.com.au PO Box 3084 AUSTINMER NSW 2515</p>	<p>Signed  Date 02-04-2024</p> <p>Grant J Wood MIEAust CPEng NER RPEQ Registered EA Chartered Professional Engineer (No. 2383009) Registered Professional Engineer QLD (No. 14384) Registered Civil Engineer Building Practitioner VIC (No. PE0002499) Registered Certifying Engineer (structural) NT (No. 306371ES)</p>	<p>Customer Name: Emma Dent Site Address: 16 Hill Court Wynyard, TAS, 7325</p>	<p>DATE 02-04-2024 JOB NO. HGOR94214284 SHEET 8 of 10</p>
REV	DATE	DESCRIPTION									
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1
9
INTERNAL FRAMING ELEVATION
 SCALE: 1:75 FRAMES 2, 3

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SHEET 9 of 10

MEMBER SCHEDULE			
COMPONENT		TYPE	
CLEAR SPAN PORTAL (FRAMES 2, 3)	MEMBER	RAFTER	Single C15024
		COLUMN	Single C15024
		APEX BRACE	Single C10019
		KNEE BRACE	Single C10019
	BASE CONNECTION	BRACKET TYPE	Base cleat bolt down bracket BC.150
		ANCHOR BOLTS	(2) Powers PTB-G-PRO M12 x 120mm embedded 91mm
PORTAL FRAMES 1, 4	MEMBER	RAFTER	Single C15024
		COLUMN	Single C15024
		APEX BRACE	-
		KNEE BRACE	-
	BASE CONNECTION	BRACKET TYPE	Angle base connection ABC.C150.70
		ANCHOR BOLTS	(2) Powers PTB-G-PRO M12 x 120mm embedded 91mm
ENDWALL MULLION	MEMBER	COLUMN	Single C15024
	BASE CONNECTION	BRACKET TYPE	Base cleat bolt down bracket BC.150
		ANCHOR BOLTS	(2) Powers PTB-G-PRO M12 x 120mm embedded 91mm
ROOF PURLINS		MEMBER	Single Z10012 @ 1151mm centres
EAVE PURLIN		MEMBER	Single C10012
SIDEWALL GIRTS		MEMBER	Single Z10012 @ 1200mm centres
ENDWALL GIRTS		MEMBER	Single Z10012 @ 1406mm centres
OPENINGS (1-2)	MEMBER	JAMB	Single Z15024
		HEADER/SILL	Single C10012
	BASE CONNECTION	BRACKET TYPE	Angle base connection ABC.C150.70
		ANCHOR BOLTS	(2) Powers PB-PRO M12 x 86mm embedded 76mm
OPENING (3)	MEMBER	JAMB	Single Unlipped 102 x 1.9 Cee
		HEADER/SILL	Single C10012
	BASE CONNECTION	BRACKET TYPE	Angle base connection ABC.SINGLE
		ANCHOR BOLTS	(1) Powers PB-PRO M12 x 86mm embedded 76mm
X-BRACING	STRAP		32mm x 1.2 strap

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